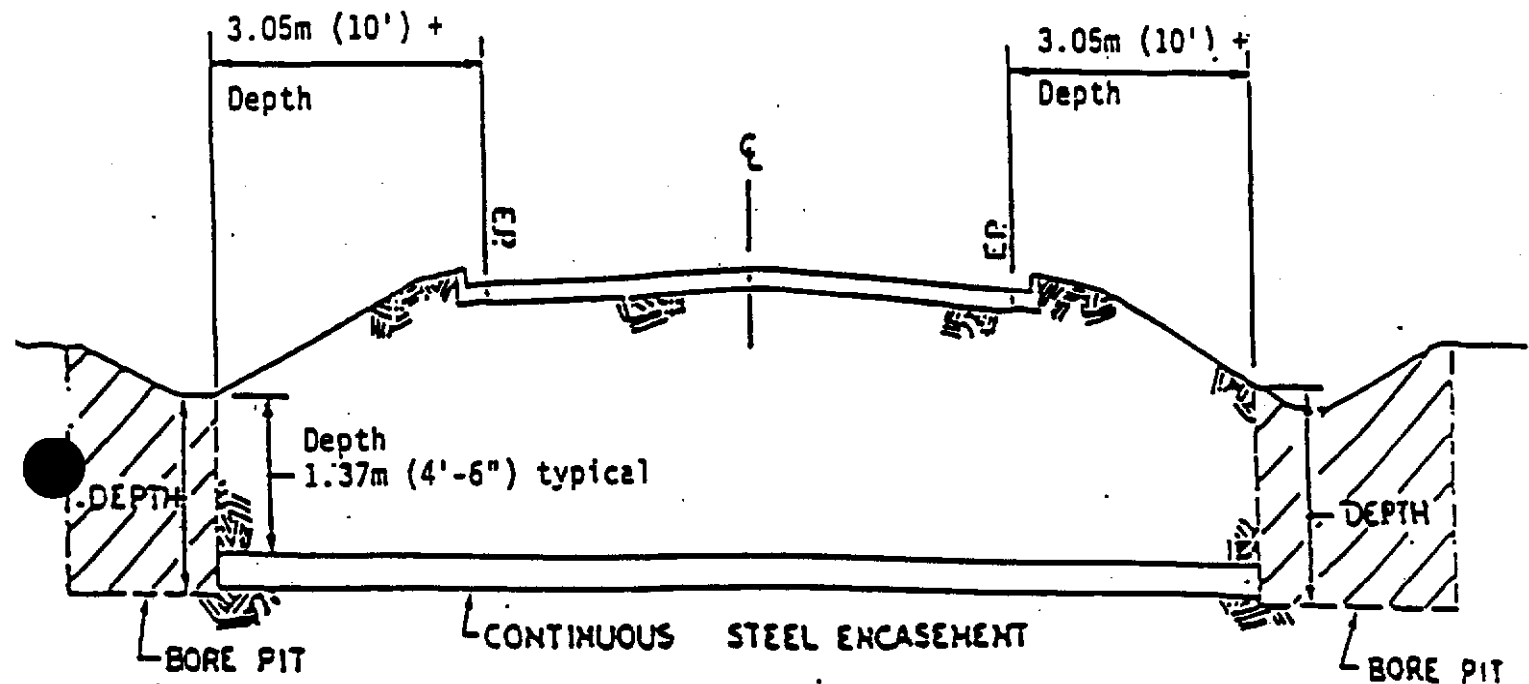


DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS

DISTRICT PERMIT SERIAL NUMBER U4-00-071

TYPICAL BORING DETAIL



Boring or jacking under conventional state highways shall be accomplished from pits located a minimum distance of three and five hundredth meters (ten feet) plus the depth of the pit away from the edge of pavement.

For steel encasement pipes over 152.4mm (six inches) in diameter, borings shall be accomplished with an auger and following pipe, and the diameter of the auger shall not exceed the outside diameter of the following pipe by more than 25.4mm (one inch).

Borings 152.4mm (six inches) and under may be accomplished by either jacking or auger and following pipe methods.

If an obstruction is encountered during boring operations, the encasement pipe shall be abandoned in place and a trial bore made at a different location.

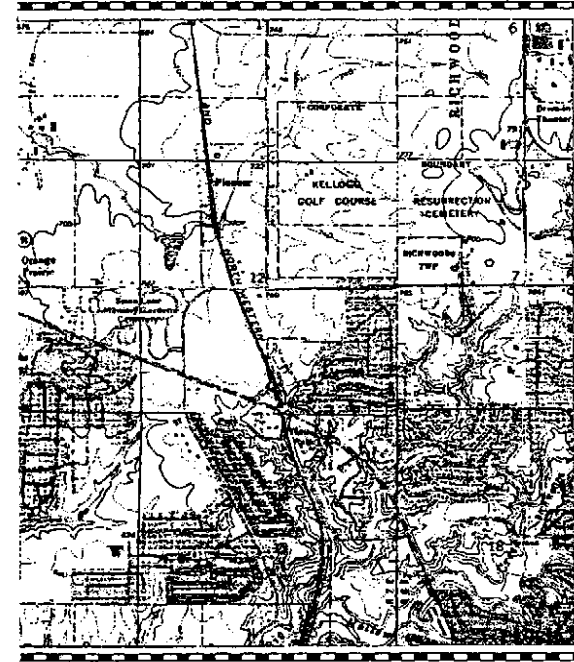
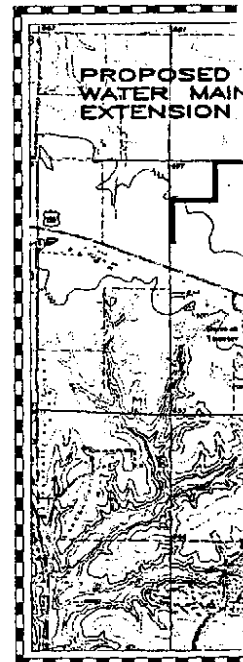
Wet boring or jetting will not be permitted under the roadway structure of state highways.

PVC conduit or subduct will not be permitted as encasement pipes.

WATER MAIN EXTENSION OSF SAINT FRANCIS CENTER FOR HEALTH PROJECT NO. 98-6-891

RAI JOB NUMBER: 960.01

DATE: JANUARY, 2000



INDEX OF DRAWINGS

SHEET NO.	TITLE
C1	COVER SHEET
C2	SITE PLAN, NOTES & LEGEND
C3	PLAN SHEET
C4	PLAN SHEET
C5	WATER MAIN DETAILS



Randolph & Associates, Inc.

911 W. PIONEER PARKWAY, PEORIA, IL 61615-2124
TELEPHONE 309-693-8844 FAX 309-693-6655
E-MAIL rai@randolphinc.com 1-800-831-9221

Consulting Engineers • Land Surveyors



LOCATION MAP

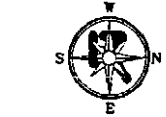
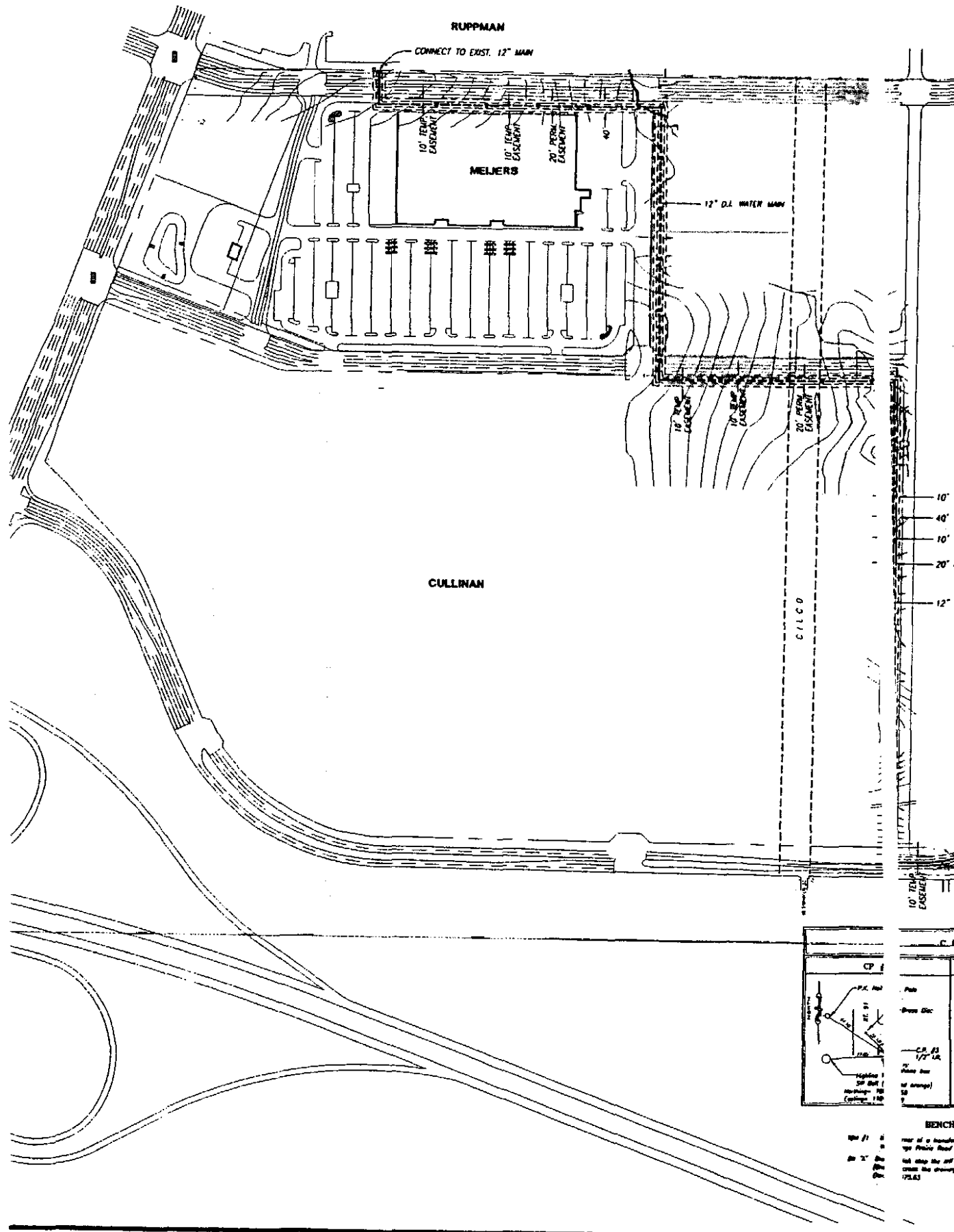
SCALE: 1"=2000'



Randolph & Associates

BY: Daniel R. Good
Daniel R. Good
ILL. REG. P.E. NO. 062-038441

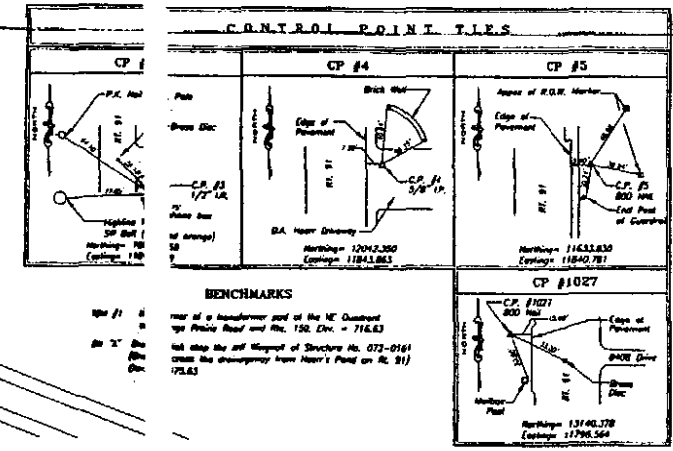
DATE: 2-24-00



SCALE : 1" = 200'

- ### GENERAL NOTES
1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES, AS SHOWN ON THE PLANS, ARE BASED ON CAREFUL FIELD INVESTIGATION AND THE BEST INFORMATION AVAILABLE, BUT THEY ARE NOT GUARANTEED. UNLESS OTHERWISE SHOWN, ALL UTILITY LOCATIONS SHOWN ON THE CROSS SECTIONS ARE BASED ON THE APPROXIMATE DEPTH SUPPLIED BY THE UTILITY COMPANY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXACT LOCATION FROM THE UTILITY COMPANIES AND BY FIELD INSPECTION.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL PAY FOR AND COORDINATE ALL UTILITY RELOCATIONS WITH THE PROPER AGENCY. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR OF ALL UTILITIES DAMAGED DURING CONSTRUCTION.
 3. WHERE EXISTING UTILITIES ARE CROSSED, SELECT COMPACTED BACKFILL OR FLOWABLE FILL SHALL BE PROVIDED TO ONE FOOT ABOVE THE EXISTING UTILITY.
 4. LOCATIONS OF RIGHT OF WAY LINES ARE APPROXIMATE. CONTRACTOR SHALL CONFINE THE CONSTRUCTION WITHIN THE RIGHT OF WAY OR EASEMENT.
 5. ALL STREETS, DRIVEWAYS, AND SIDEWALKS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH THE SAME TYPE AND THICKNESS AS THE ORIGINAL INSTALLATION. BASE COURSE UNDER RIGID SURFACE SHALL BE 6-8" MINIMUM THICKNESS. CONCRETE DRIVEWAYS AND SIDEWALKS SHALL BE REPLACED TO THE NEAREST FULL SECTION. DIRT AND CHIP STREETS SHALL BE REPLACED WITH BITUMINOUS. THE PAY WIDTH FOR PAVEMENT REPLACEMENT SHALL BE EITHER THE ACTUAL WIDTH OR THE WIDTH SHOWN IN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION", WHICHEVER IS LESS.
 6. BACKFILL UNDER ALL RIGID PAVEMENTS SHALL BE COMPACTED SELECT GRANULAR BACKFILL ACCORDING TO THE SPECIFICATIONS. THE PAY WIDTH SHALL BE AS SHOWN IN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER CONSTRUCTION".
 7. FENCES DAMAGED OR DISTURBED DURING CONSTRUCTION SHALL BE REPLACED WITH FENCING OF LIKE MATERIALS AND CONSTRUCTION, AND SHALL BE INCIDENTAL TO THE CONTRACT.
 8. MAILBOXES AND SIGNS SHALL BE REMOVED AND REPLACED AS NECESSARY DURING THE COURSE OF CONSTRUCTION, AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY MAILBOXES AND SIGNS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY ONES OF COMPARABLE MATERIALS AND CONSTRUCTION, AND SHALL BE INCIDENTAL TO THE CONTRACT.
 9. ANY TRENCH 5' OR LESS FROM EXISTING UTILITY POLES (MEASURED FROM CENTERLINE OF TRENCH TO CENTERLINE OF POLE) SHALL BE BACKFILLED AND COMPACTED WITH SELECTED GRANULAR MATERIAL OR FLOWABLE BACKFILL THE ENTIRE DEPTH OF THE TRENCH FOR A DISTANCE OF TWO FEET ON EACH SIDE OF THE POLE. THE CONTRACTOR SHALL INSURE THAT THE STABILITY OF ALL UTILITY POLES IS NOT IMPAIRED AS A RESULT OF CONSTRUCTION. ALL WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
 10. PRIVATE DRIVEWAYS SHALL NOT BE COMPLETELY CLOSED WITHOUT PRIOR NOTIFICATION OF DRIVEWAY OWNER BY CONTRACTOR.
 11. EXISTING CULVERTS SHALL BE REMOVED AND REPLACED AS NECESSARY DURING THE COURSE OF CONSTRUCTION, AND SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. ANY CULVERTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY ONES OF COMPARABLE MATERIALS AND CONSTRUCTION, AND SHALL BE INCIDENTAL TO THE CONTRACT.
 12. CONTRACTOR SHALL REMOVE AND REPLACE TOPSOIL IN ALL DISTURBED AREAS ADJACENT TO RT. 91. TOPSOIL SHALL BE 4" THICK (MINIMUM) IN LAWN AREAS AND 12" THICK (MINIMUM) IN CROPLANDS.
 13. ALL SEEDED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESEED UNLESS OTHERWISE NOTED ON THE DRAWINGS. CONTRACTOR WILL BE PAID ON A LUMP SUM BASIS FOR SEEDING, AND NO PAYMENT WILL BE MADE FOR ADDITIONAL QUANTITIES EXCEPT IN CASES WHERE THE LENGTH OF THE PROJECT IS EXTENDED OR A MAJOR CHANGE IN THE SEEDING PATTERN IS NECESSARY AND AUTHORIZED BY THE OWNER. FARM FIELDS SHALL NOT BE SEED.
 14. CONTRACTOR SHALL REPLACE ALL CURB AND GUTTER DAMAGED DURING CONSTRUCTION. THE NEW CURB SHALL EXTEND 1' BEYOND THE SIDE WALL OF EACH TRENCH.
 15. CONTRACTOR MAY USE WATER BORING PROCEDURES FOR STREET AND DRIVEWAY CROSSINGS RATHER THAN OPEN CUT TRENCHES, PROVIDED THAT NO VOIDS ARE CREATED UNDER THE PAVEMENT.
 16. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY DURING CONSTRUCTION.
 17. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING APPROPRIATE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROPRIATE AGENCY.
 18. CONTRACTOR SHALL PREVENT DAMAGE FROM OCCURRING TO ALL EXISTING BUILDINGS OR STRUCTURES AS A RESULT OF CONSTRUCTION.
 19. ALL WATER MAINS SHALL BE DUCTILE IRON AS INDICATED IN SPEC. 02667.
 20. WATER MAINS SHALL BE INSTALLED WITH 4.0' OF COVER, UNLESS OTHERWISE INDICATED.
 21. ALL CLEARING AND DISPOSAL OF CLEARED MATERIAL SHALL BE INCIDENTAL TO THE CONTRACT.

01 GENERAL NOTES



LEGEND

—E—	EXIST. ELECTRIC CABLE (E)
—G—	EXIST. GAS LINE (G)
—S—	EXIST. SANITARY SEWER (SAN)
—SS—	EXIST. STORM SEWER (SS)
—T—	EXIST. TELEPHONE CABLE (T)
—W—	EXIST. WATER LINE (W)
—SAN—	PROP. SANITARY SEWER (SAN)
—SS—	PROP. STORM SEWER (SS)
—W—	PROP. WATER MAIN (W)
—X—	FENCE
—H—	HYDRANT
—M—	MANHOLE
—P—	POWER POLE
—R—	RIGHT OF WAY MARKER (ROW)
—S—	SIGN
—T—	TRANSFORMER
—V—	VALVE

REVISIONS

No.	Date	Description

SITE PLAN, NOTES, & LEGEND

WATER MAIN EXTENSION

OSF SAINT FRANCIS CENTER FOR HEALTH

01-28-00

Drawn By: P. MASSA

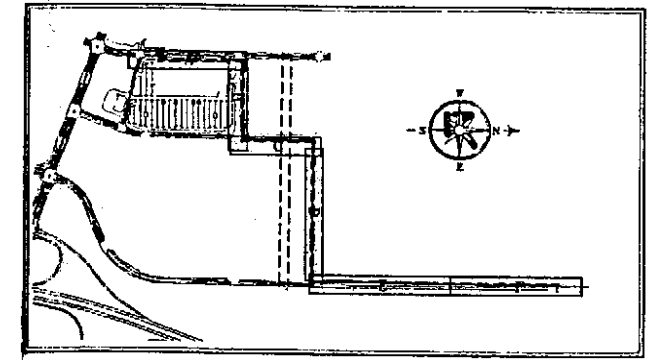
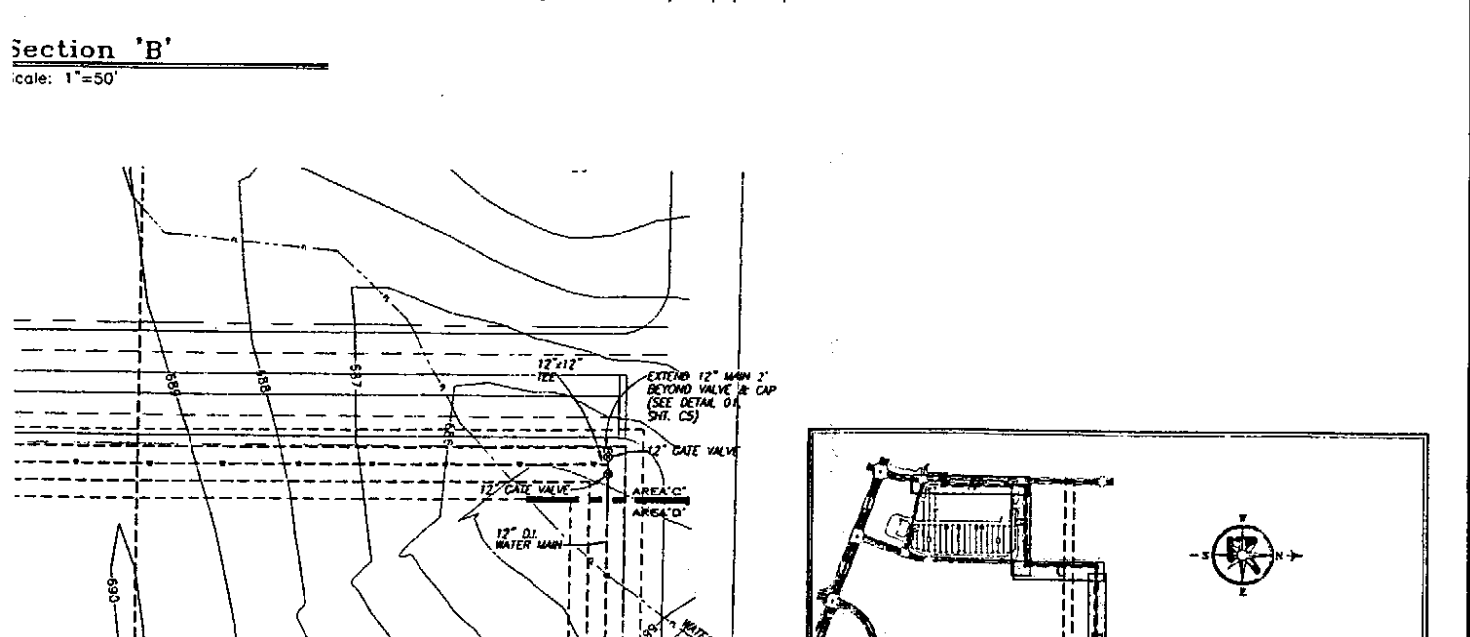
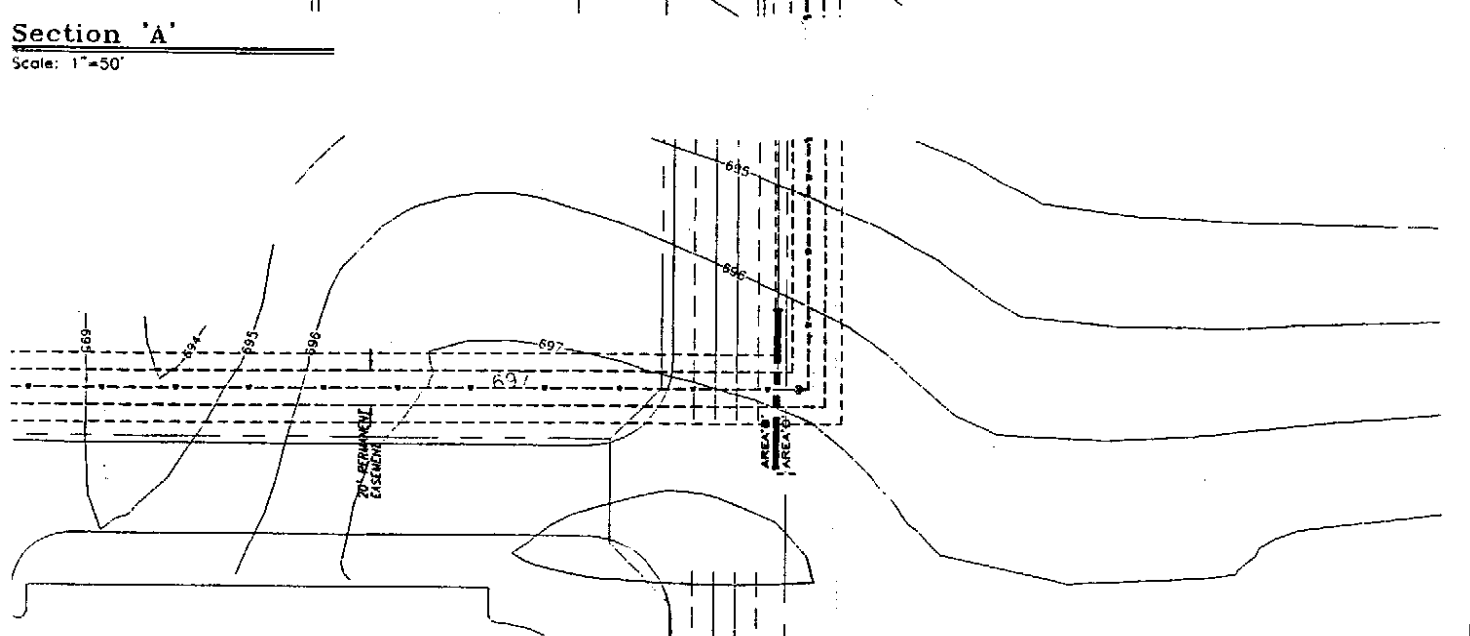
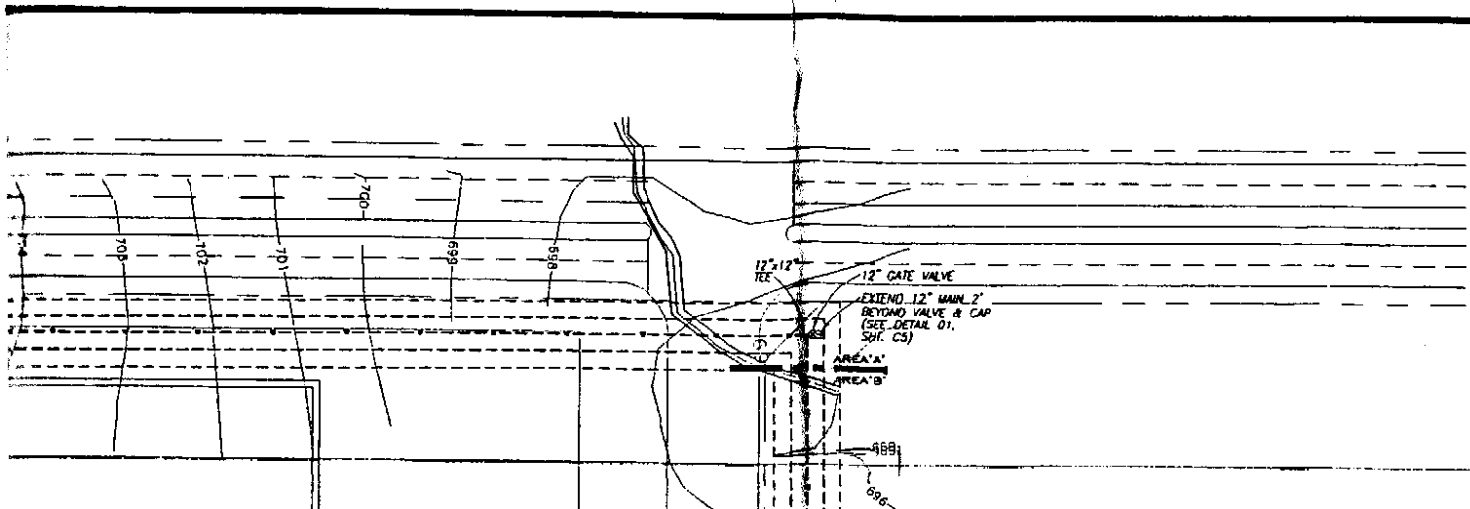
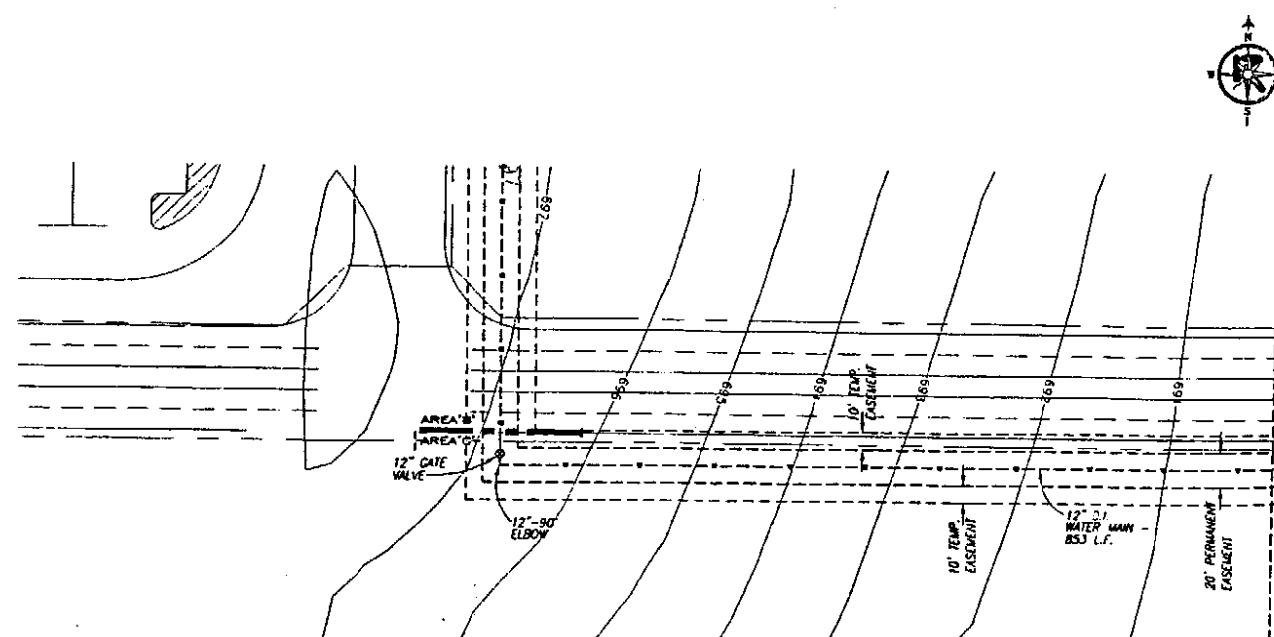
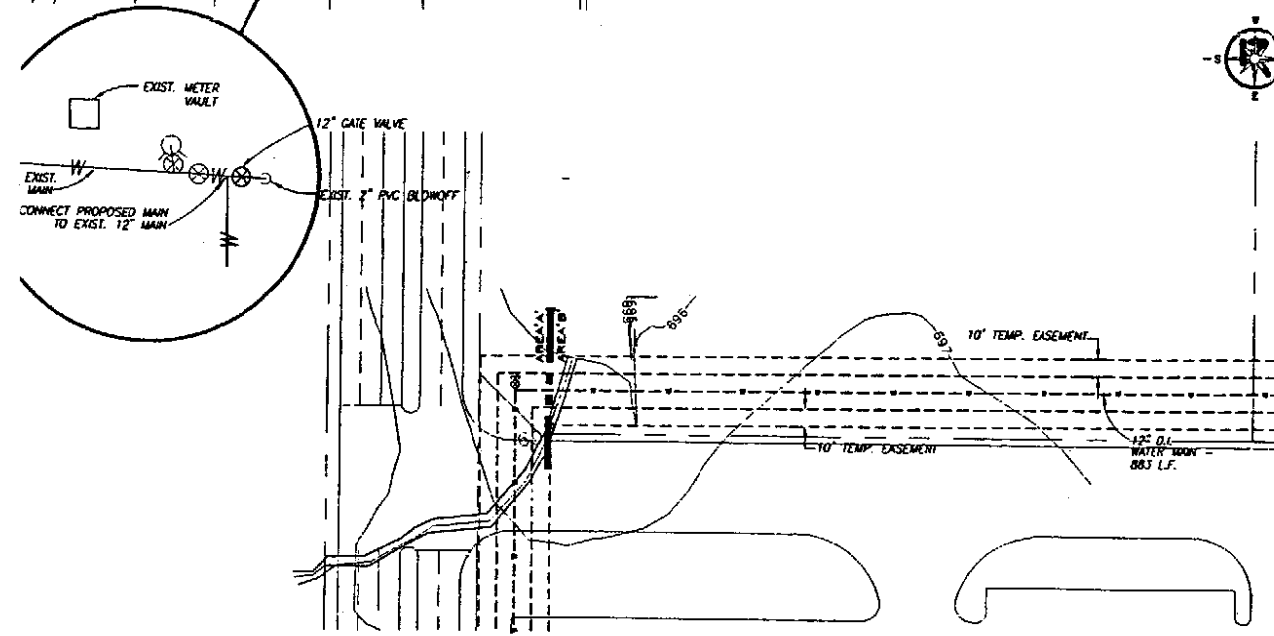
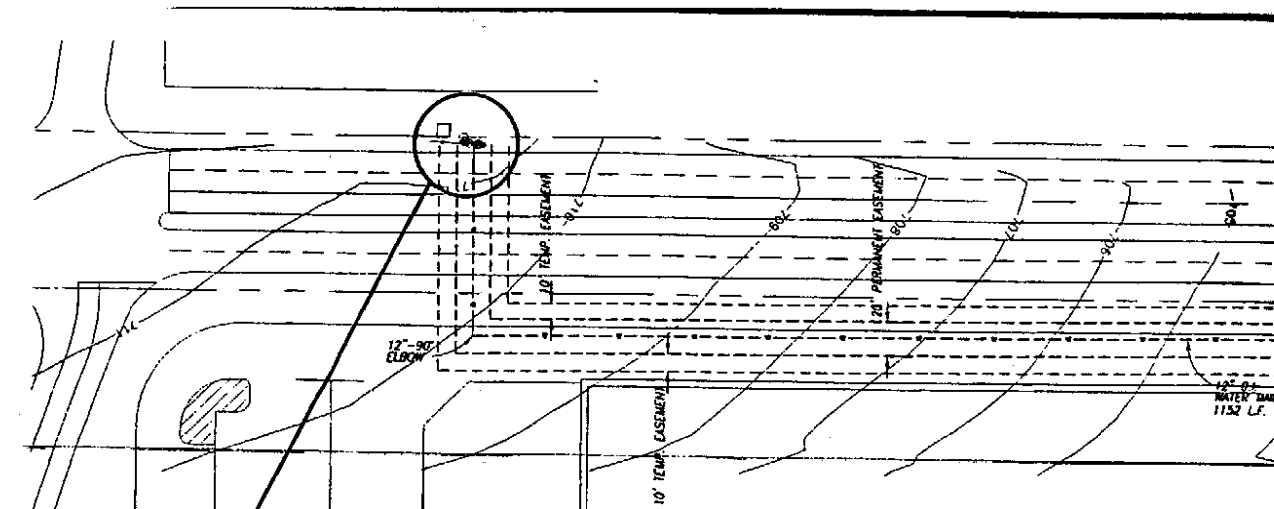
Designed By: D. GOOD

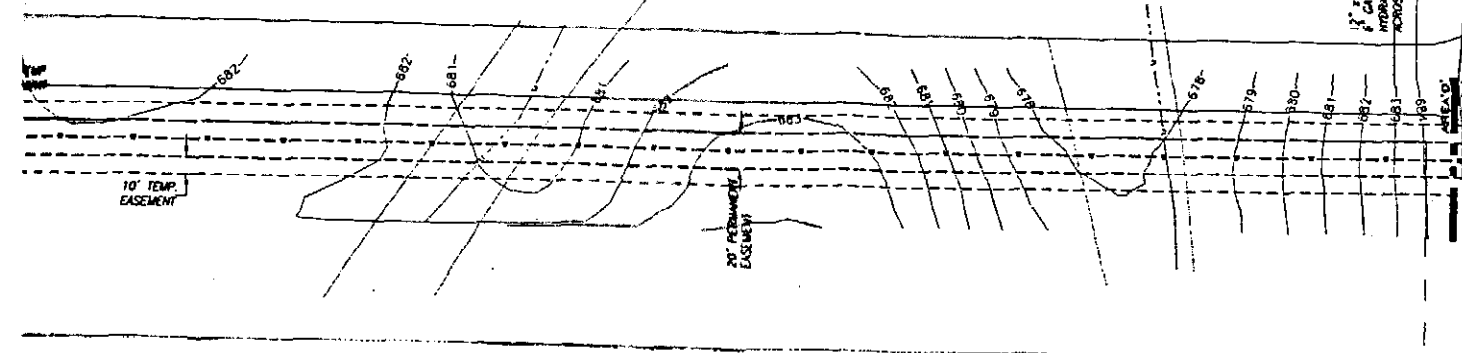
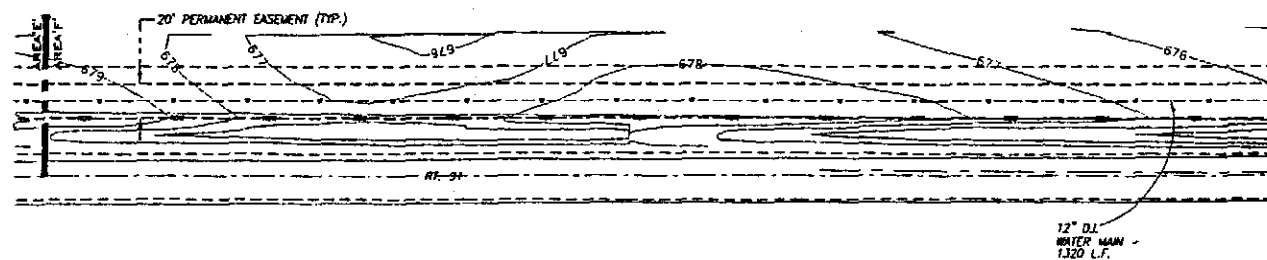
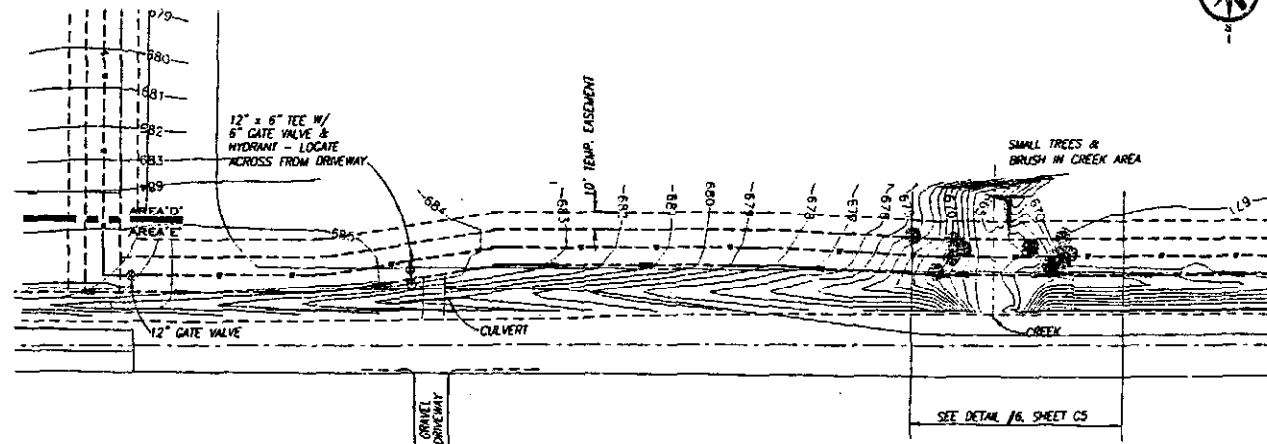
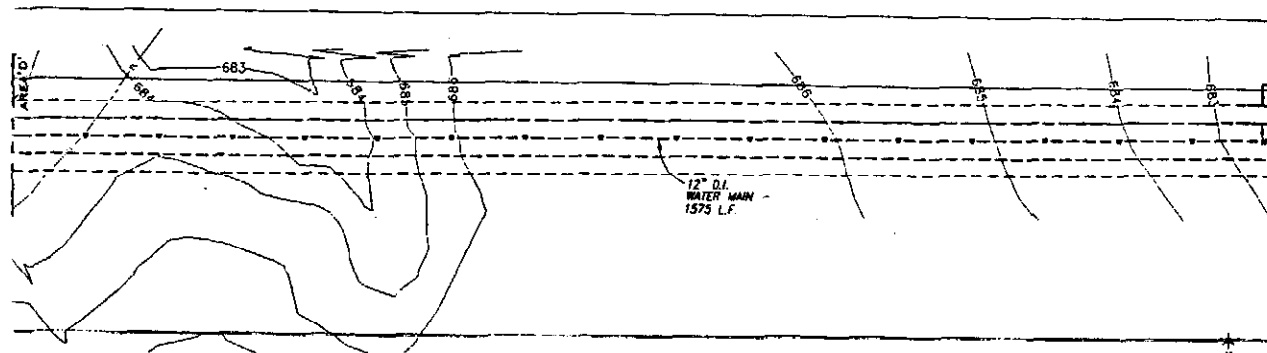
Proj. No: 01-28-00

Project No: 960.01

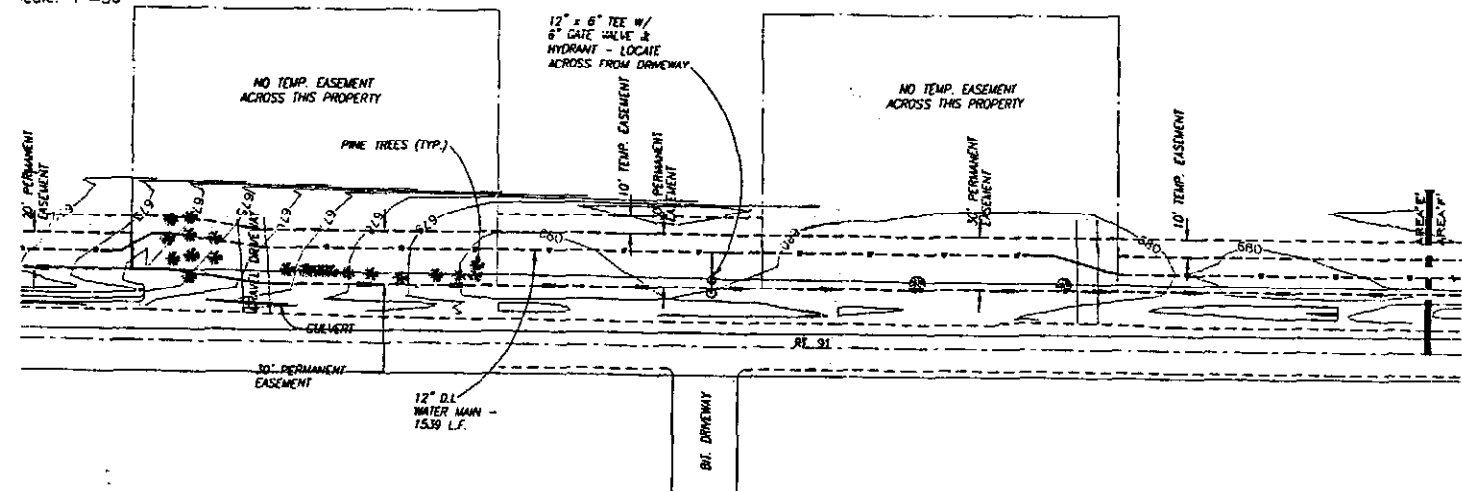
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Consulting Engineers & Land Surveyors

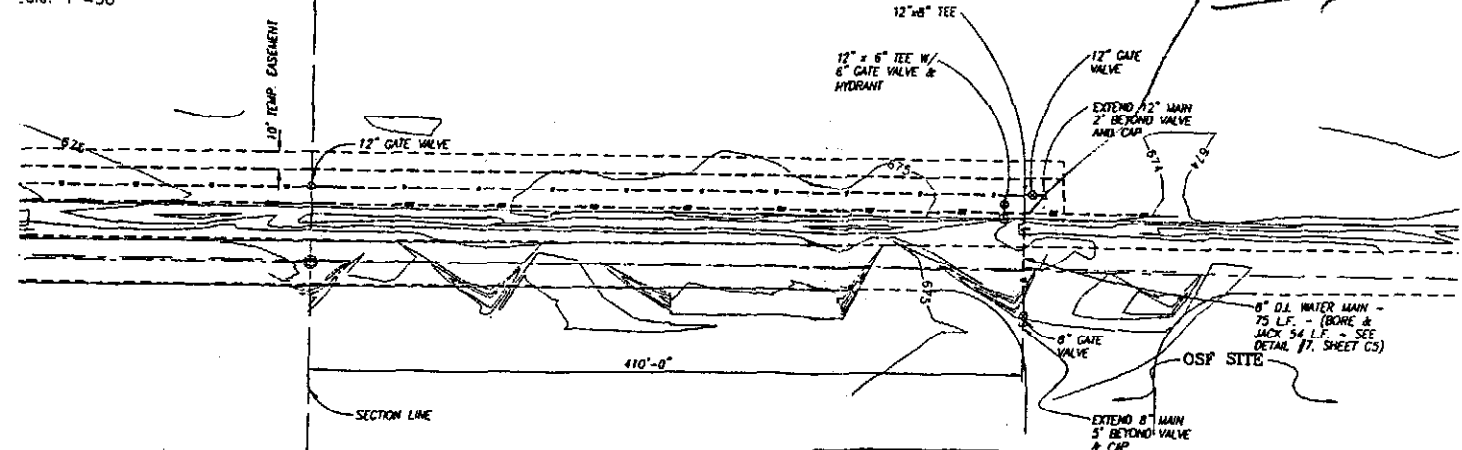




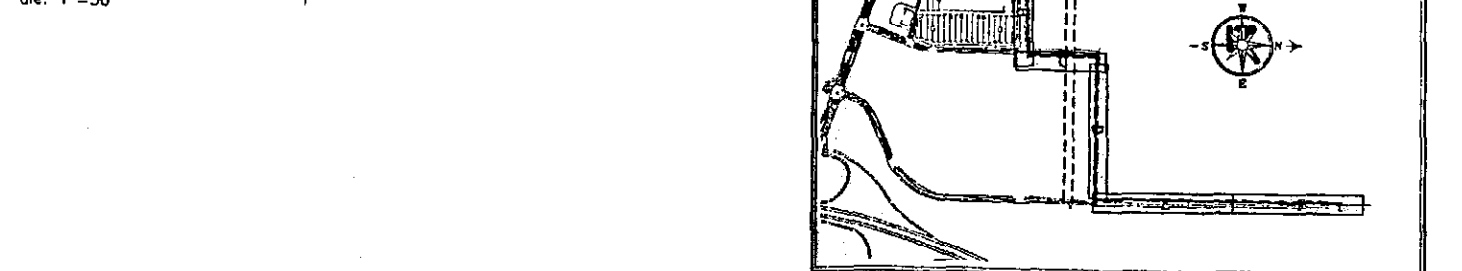
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Section 'E'
Scale: 1"=50'



Section 'F'
Scale: 1"=50'

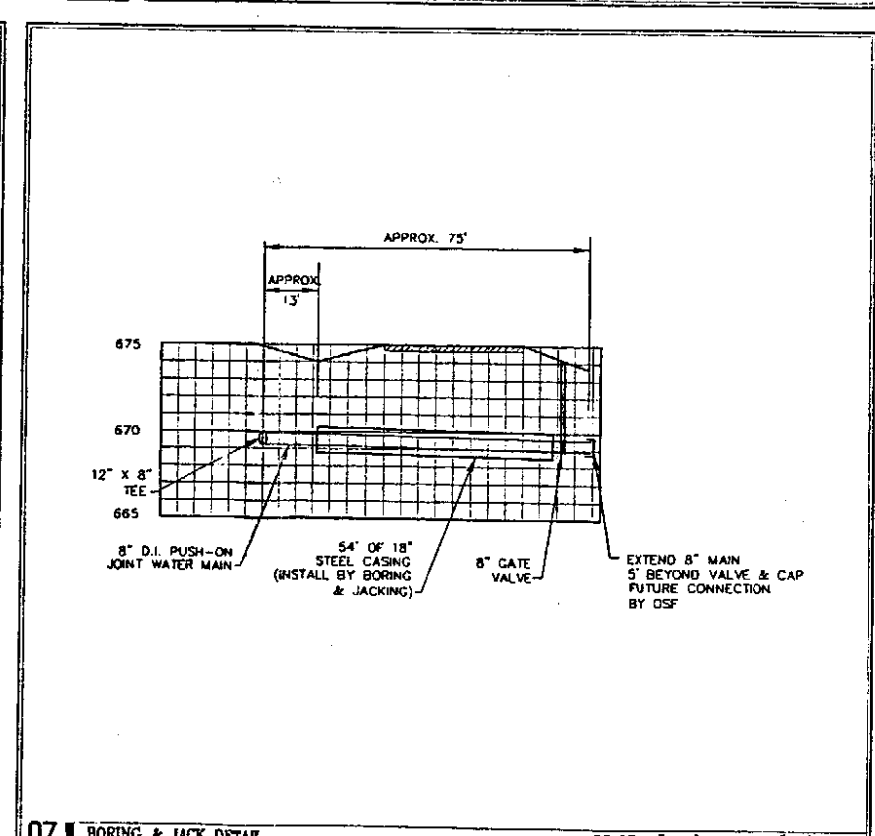
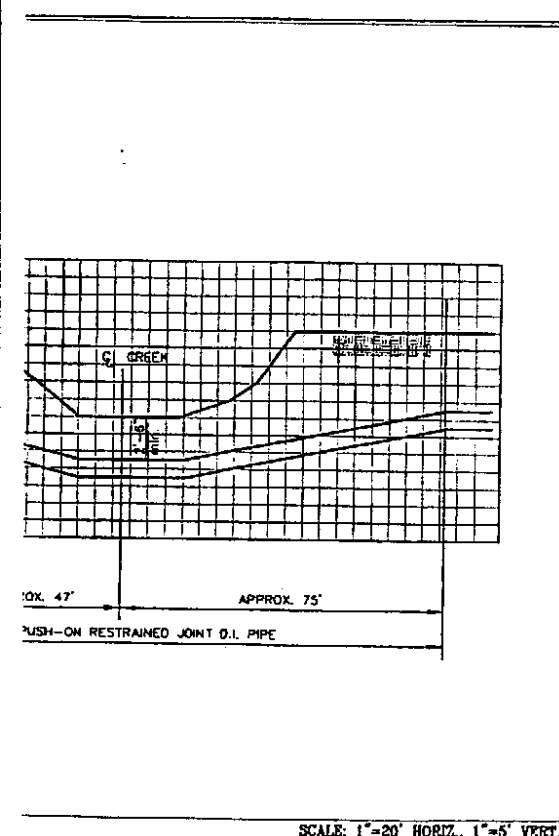
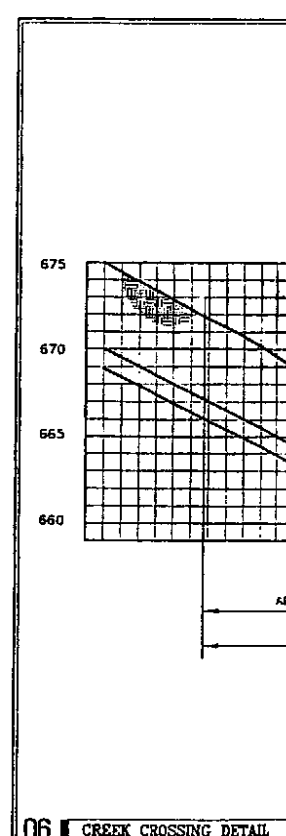
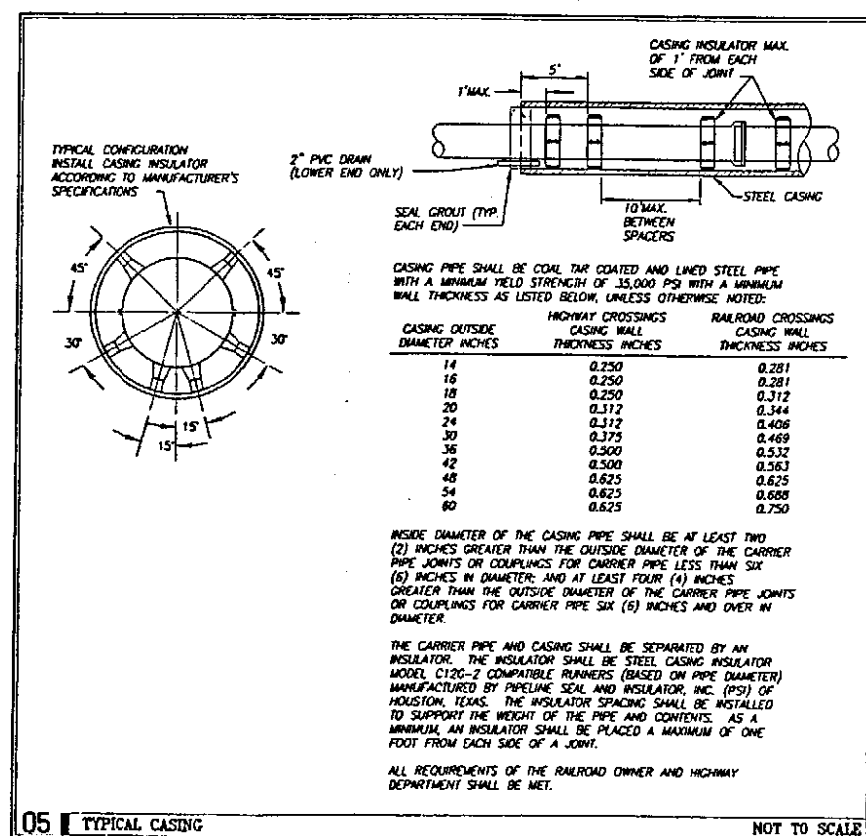
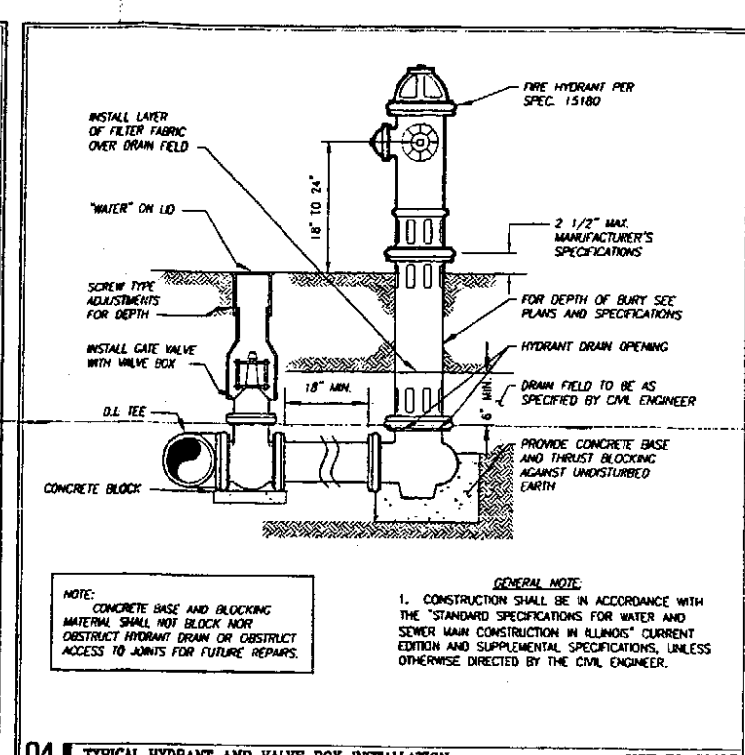
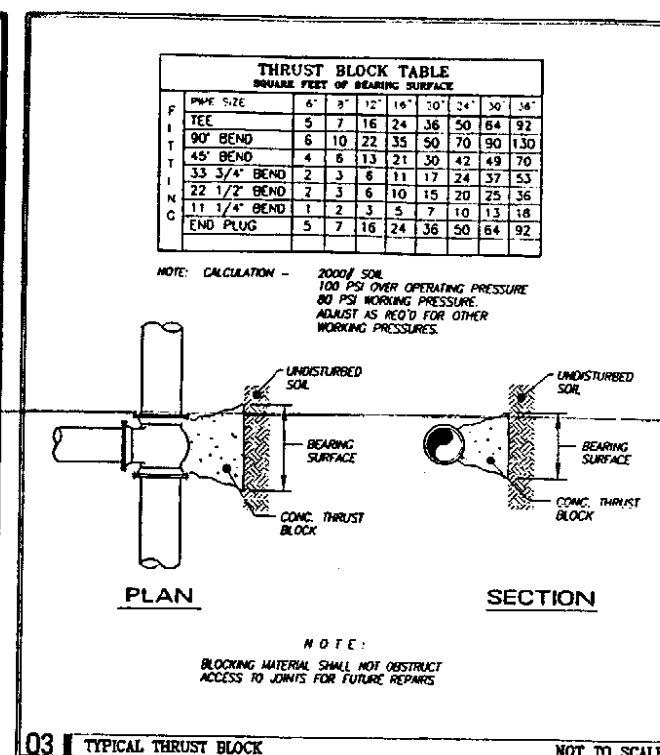
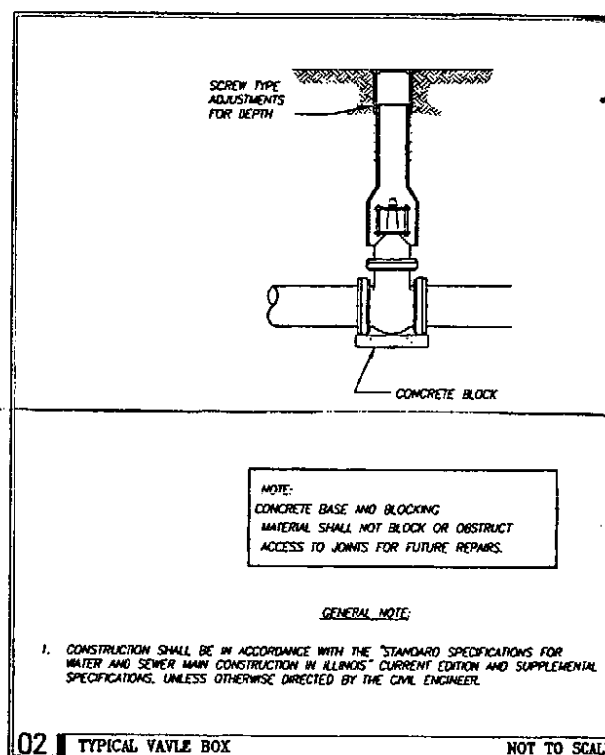
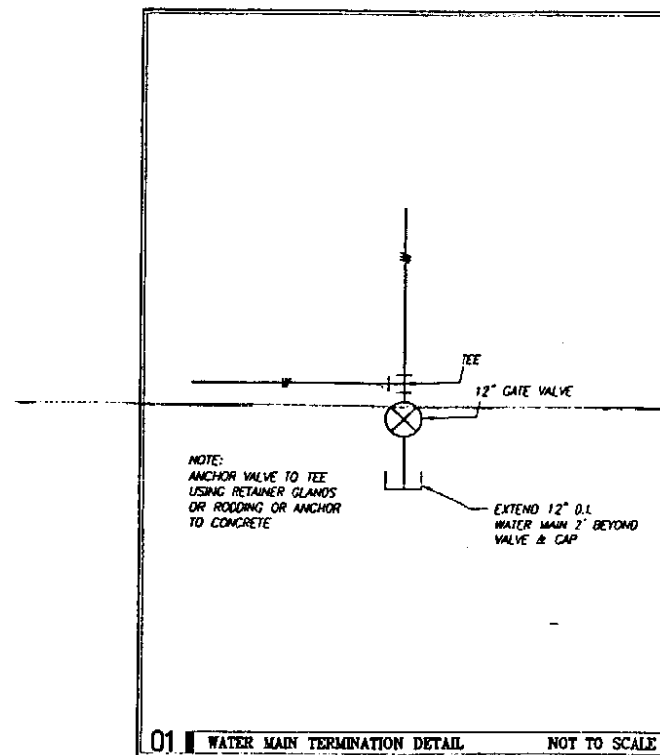


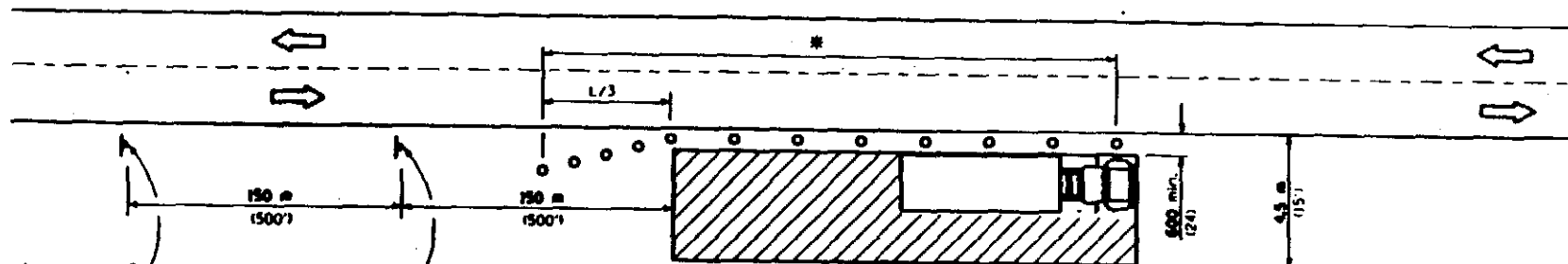
REVISIONS	
No.	Description

Randolph & Associates, Inc.
 111 W. PINE STREET, SUITE 100, ST. LOUIS, MO 63101
 TEL: (314) 436-1111 FAX: (314) 436-1112
 E-MAIL: RAND@AOL.COM
 Consulting Engineers • Land Surveyors

WATER MAIN PLAN 2
WATER MAIN EXTENSION
 OSF SAINT FRANCIS CENTER FOR HEALTH

Drafted By: C. Corliss
 Designed By: D. Good
 Date: 31 Jan 2000
 Project No.: 0960.001
 Drawing: C4





For contract construction projects

W20-1101-48

For maintenance and utility projects

W21-4101-48

W21-10101-48

W21-1110101-48

TYPICAL APPLICATIONS

Utility operations
 Culvert extensions
 Side slope changes
 Guardrail installation and maintenance
 Delineator installation
 Landscaping operations
 Shoulder repair
 Sign installation and maintenance

SYMBOLS

- Work area
- Sign
- Cone, drum or barricade

GENERAL NOTES

This Standard is used where at all time, any vehicles, equipment, worker or their activities will encroach in the area from 4.5 m (15') to the edge of pavement, except where activities will result in a dropoff greater than 75 mm (3") within 600 mm (24") of pavement.

If the operation is 4.5 m (15') or more off the pavement edge, no signing or cones will be required, unless two or more vehicles cross the 4.5 m (15') clear zone in one hour.

* When working within 600 mm (24") of the pavement edge, cones, drums or barricades shall be placed at 8 m (25') centers for L/3 distance, 15 m (50') centers through remainder of work area.

Shoulder tapers should have a minimum length of L/3.

where L is:

SPEED LIMIT

FORMULAS

70 km/h (40 mph) or less:

Metric (English)
 $L = \frac{WS^2}{150}$ $L = \frac{WS^2}{60}$

80 km/h (45 mph) or greater:

$L = 0.65(WS)$ $L = (WS)$

W = Width of offset in meters (feet).

S = Normal posted speed km/h (mph).

All dimensions are in millimeters (inches) unless otherwise shown.

British Department of Transportation	
APPROVED	1988
REVISIONS	
APPROVED	1990
REVISIONS	

DATE	REVISIONS
1-1-90	Rev. 1st GEN. NOTE.
	Rev. (24") to (24") in 3rd GEN. NOTE.
1-1-97	Return Standard 2302-9.

OFF-ROAD OPERATIONS 2L, 2W
 4.5 m (15') TO PAVEMENT EDGE
 FOR SPEEDS \geq 45 MPH

STANDARD 701006-01

ILLINOIS-AMERICAN WATER COMPANY
RESPONSE TO ILLINOIS COMMERCE COMMISSION
DATA REQUEST NUMBER RAK-1.11

Person Responsible:
Title:
Phone No.:
Date Received:
Docket No.:

Kevin Hillen
Manager, Northern Div.
309-671-3720
August 31, 2000
00-0495

RAK 1.11

Please provide the estimated average and peak demands for the additional customers to be served by IAWC if the Certificate is granted. Provide all documents, studies, and workpapers utilized to develop the estimated average and peak demands.

RESPONSE

The average and peak demands for the primary customer, OSF Healthcare, were estimated from an August 31, 1999 letter, attached for reference. The demands for potential residential customers have been estimated at 6 ccf per month which is comparable to other similarly situated customers in the Northern Division.

Hammes Company

18000 W. Sarah Lane, Suite 250

Brookfield, Wisconsin 53045

Tel 414 792 5900 Fax 414 792 3620

August 31, 1999

Mr. Dick Schwarz, Manager
ILLINOIS-AMERICAN WATER COMPANY
Northern Division
123 S.W. Washington Street
Peoria, Illinois 61602

RE: OSF Saint Francis Center for Health
8800 North Route 91
Peoria, Illinois

Dear Mr. Schwarz:

As requested during our meeting on June 21, 1999, please find the following information related to the above referenced project for your use:

Phase 1 Development

Building:	134,000 SF
Site:	16 acres
Estimated Water Usage:	440,190 gal/month 5,282,280 gal/year
Peak Rate Flow (Domestic):	231 G.P.M. <i>Based on a 6" service @ 80-90 psi</i>
Peak Rate Flow (Fire):	1250 G.P.M. <i>Based on an 8" service @ 80-90 psi</i>

Future Development

Our preliminary development plan includes approximately 107 acres which will be available for development within the 143-acre parcel. Based on the density of the Phase 1 development, an estimated building development potential for the entire parcel could potentially be between 717,000 SF and 1,075,000 SF.

$$\frac{107 \text{ Acres (Total)}}{16 \text{ Acres (Phase 1)}} \times \frac{134,000 \text{ SF}}{\text{Total SF}} = 896,125 \text{ SF}$$

$$717,000 \text{ SF} \times 3.3 \text{ gal./ft./month} \times 12 \text{ months/yr.} = 28,383,200 \text{ gal./year}$$
$$1,075,000 \text{ SF} \times 3.3 \text{ gal./ft./month} \times 12 \text{ months/yr.} = 42,570,000 \text{ gal./year}$$

Based on this preliminary estimate, a potential total annual water usage for this parcel could be between 28.4 and 42.6 million gallons. The actual timeline for development of the entire parcel is not known at this time. Additionally, the annexation of this parcel and adjacent parcels totaling 549 acres has prompted the City of Peoria to officially begin planning "Growth Cell III," which will include the extension of sanitary sewer mains to this area.

We understand that historically the responsibility to extend water mains to a new development from existing main locations has been born by the developer. OSF Saint Francis Medical Center acquired this property to provide healthcare services to Northwest Peoria and the region and is not involved in speculative land development. The potential for development and future water customers in Growth Cell III greatly increases with the opening of the Center for Health. However, the cost to extend water service creates a burden on the Center for Health. A construction start is planned for October 1999 with occupancy in April 2001.

Given the above information and the potential future growth in this area, we respectfully submit the following responsibilities proposal.

OSF

- Grant necessary easements (the granting of easements is required by all parcels contained in the attached annexation plat).
- Install a water main as determined by Illinois-American Water Company from the west property line abutting Route 91 of Parcel 1 to the Center for Health. This water line will serve the Phase One development and be sized and located to provide expansion to the entire 143 acre parcel (see attached site plan).
- Provide easements and construct water mains to Illinois-American standards for all Parcel 1 on-site water mains and related facilities (attached Parcel 1 Development Plan)

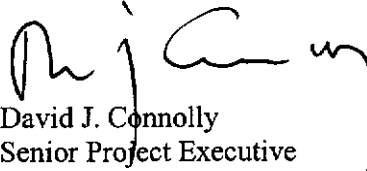
Illinois-American Water Company

- Provide a water main to the westerly property line of the OSF Parcel 1 from existing main locations.

Thank you for your assistance on this exciting project for OSF, the City of Peoria, and Illinois-American Water Company. We look forward to further discussions on how we can work together for an equally beneficial solution. Please call me at 414-792-5900 if you should have any questions.

Sincerely,

HAMMES COMPANY


David J. Connolly
Senior Project Executive

DJC:kk
Enclosures

ILLINOIS-AMERICAN WATER COMPANY
RESPONSE TO ILLINOIS COMMERCE COMMISSION
DATA REQUEST NUMBER RAK-1.12

Person Responsible:	Kevin Hillen
Title:	Manager, Northern Div.
Phone No.:	309-671-3720
Date Received:	August 31, 2000
Docket No.:	00-0495

RAK 1.12 Please provide a detailed breakdown of the \$240,639 for the 12 inch" & 8" dia. water main extension to serve the proposed customers.

RESPONSE In 1999, IAWC initially estimated the cost of the 12" and 8" water main project at \$272,100. The incremental cost to upgrade from 8" and 12" main was estimated to be \$36,900, leaving a balance for the developer of \$235,200. A copy of this initial estimate is enclosed with a September 1, 1999 memo, as well as a copy of an October 19, 1999 letter to David Connolly of Hammes Company, the project manager. The design was subsequently refined, reducing the number of fire hydrants on private property along the main route, reducing the estimate to \$240,639.

Since then, the developer has secured bids for the main installation. The bid of the low bidder is attached. OSF also provided costs for their management and easement acquisition costs in an attached June 29, 2000 letter. The total estimated cost of the 12 " and 8" mains is now \$227,064.70 (\$162,064.70 + \$65,000.00). The upgrade cost and IAWC's contribution is \$33,863 (\$162,064.70 less \$128,201.70).



Illinois-American Water Company

Northern Division • 123 S.W. Washington • Peoria, Illinois 61602
Phone: (309) 671-3701 • Fax: (309) 671-4841

1 September, 1999

TO: R. C. Schwarz
R. R. Bowden

FR: A. R. Snelson

RE: OSF St. Francis Center for Health - Phase I
Peoria, IL - Growth Cell III

I have attached the following in support of proposals for the above development:

- estimates supporting costs for two (2) pipeline routes to supply the Mall and OSF St. Francis developments;
- USGS Map showing overall existing and proposed development in City of Peoria Growth Cell III;
- Proposed annexation area in Growth Cell III to provide access to the OSF site for utilities; Annexation Agreement includes provision for property owners to provide utility easements at no cost; Annexation Plat is in pipeline lacking only Council Approval; Annexation Agreement is in place with property owners;
- Proposed Site Plan for OSF St. Francis Center for Health, Phase I which includes proposed interchange for the extension of Pioneer Parkway, green space with detention ponds and circumferential roadway in the site with proposed water main to be installed in phases.

cc: J. P. Kiersch

RTE 150 TO RTE 91 (ST. FRANCIS HOSP) - MAIN EXTENSION

INSTALL 7,020' OF 12" DL MAIN - FR RUPPMAN TO RTE 91

QUANTITY	DESCRIPTION	LIST COST	ITEM A 12" TOTAL EST COST	ITEM A 8" TOTAL EST COST	ITEM B TOTAL EST COST
7,020	12" DL PIPE - CLASS 350	10.30	76,825	46,319	30,506
2	12"x 12" TEE	466.50	991	991	0
1	12" CAP - TAPPED - 2"	93.50	99	99	0
6	12" GATE VALVE	427.00	2,722	2,722	0
7	VALVE BOX COMPLETE	60.00	420	420	0
	CONTRACT - LABOR & EQUIPMENT	17.0000	119,340	119,340	0
1	MISC PERMITS (I.E.P.A., I.D.O.T., ETC)	1,600.00	1,600	1,600	0
	SUB-TOTAL		201,997	171,491	30,506
	5% O & C		10,100	8,575	1,525
	SUB-TOTAL		212,097	180,066	32,031
	2% C O		4,242	3,601	641
	SUB-TOTAL		216,339	183,667	32,672
	13.09% ENGINEERING		28,319	24,042	4,277
	SUB-TOTAL		244,658	207,709	36,949
	A.F.U.D.C.		0	0	0
	TOTAL PART I		244,658	207,709	36,949

Doug Wiegand 05/18/99 by telephone said \$10-\$12/foot in easy going field, double that for work along highway because of productivity slowed by traffic -- restoration highway mix grass seed, add \$1/foot

Considerations: easement across Promenade Mall granted by Mall as is necessary to supply Mall development. Approximately 3,000' of main needed to get to point of service should be paid for by Mall same as split with LR Nelson and IDOT on the 16" extended out 150. Second feed is NOT available to Mall.

INSTALL - (12) FIRE HYDRANT

QUANTITY	DESCRIPTION	LIST COST	TOTAL EST COST	TOTAL EST COST	
12	4-1/2" FIRE HYDRANT (3/WAY)	398.76	5,084	5,084	0
12	12"x 6" ANCHOR TEE	127.96	1,631	1,631	0
12	6" GATE VALVE	148.38	1,892	1,892	0
12	6" ANCHOR CPLG	85.00	1,084	1,084	0
60	6" DL PIPE - CLASS 350	5.36	342	342	0
12	VALVE BOX COMPLETE	53.66	644	644	0
	CONTRACT LABOR & EQUIPMENT	1,000.00	12,000	12,000	0
	SUB-TOTAL		22,677	22,677	0
	5% O & C		1,134	1,134	0
	SUB-TOTAL		23,811	23,811	0
	2% C O		476	476	0
	SUB-TOTAL		24,287	24,287	0
	13.09% ENGINEERING		3,179	3,179	0
	SUB-TOTAL		27,466	27,466	0
	A.F.U.D.C.		0	0	0
	TOTAL PART II		27,466	27,466	0
	TOTAL PART I		244,658	207,709	36,949
	TOTAL PART II		27,466	27,466	0
	TOTAL PROJECT		272,124	235,175	36,949
	COST PER FOOT:		38.76	33.50	
	SAY:		272,100	235,200	36,900

ALTERNATE - RTE 150 TO RTE 91 (ST. FRANCIS HOSP) - MAIN E
 INSTALL 6,200' OF 12" DL MAIN - FR RTE 150 ALONG RTE 91

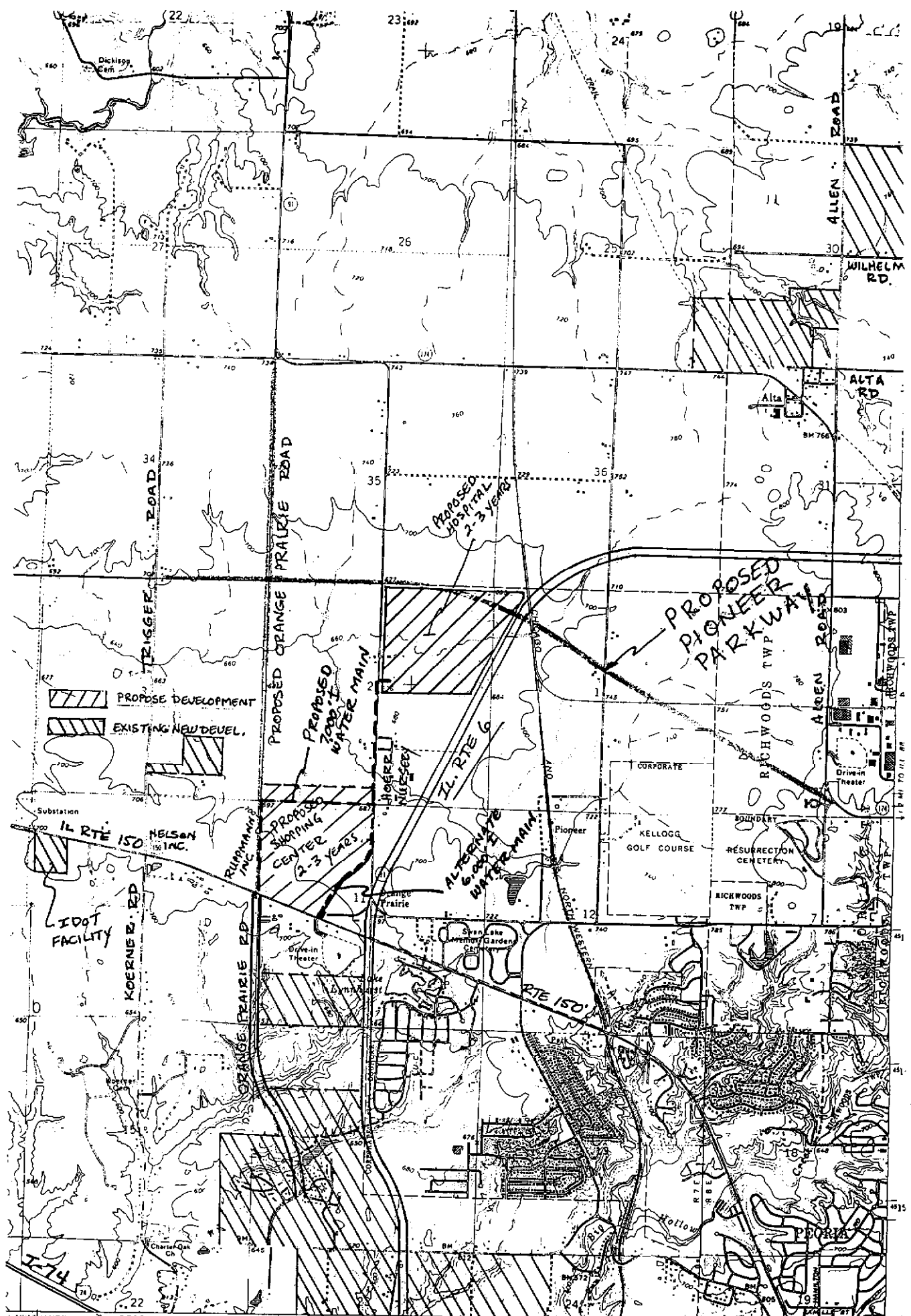
QUANTITY	DESCRIPTION	LIST COST	ITEM A 12" TOTAL EST COST	ITEM A 8" TOTAL EST COST	ITEM B TOTAL EST COST
6,200	12" DL PIPE - CLASS 350	10.30	67,851	40,908	26,943
1	16"x 12" TAPPING SLEEVE	1,081.00	1,149	1,149	0
1	12" TAPPING VALVE	531.77	565	565	0
2	12"x 12" TEE	466.50	991	991	0
1	12" CAP - TAPPED - 2"	93.50	99	99	0
6	12" GATE VALVE	427.00	2,722	2,722	0
7	VALVE BOX COMPLETE	60.00	420	420	0
	CONTRACT - LABOR & EQUIPMENT	17.0000	105,400	105,400	0
120	CONTRACT - BORE & CASE	200.00	24,000	24,000	0
1	MISC PERMITS (I.E.P.A., I.D.O.T., ETC)	1,600.00	1,600	1,600	0
	SUB-TOTAL		204,797	177,854	26,943
	5% O & C		10,240	8,893	1,347
	SUB-TOTAL		215,037	186,747	28,290
	2% C O		4,301	3,735	566
	SUB-TOTAL		219,338	190,482	28,856
	13.09% ENGINEERING		28,711	24,934	3,777
	SUB-TOTAL		248,049	215,416	32,633
	A.F.U.D.C.		0	0	0
	TOTAL PART I		248,049	215,416	32,633

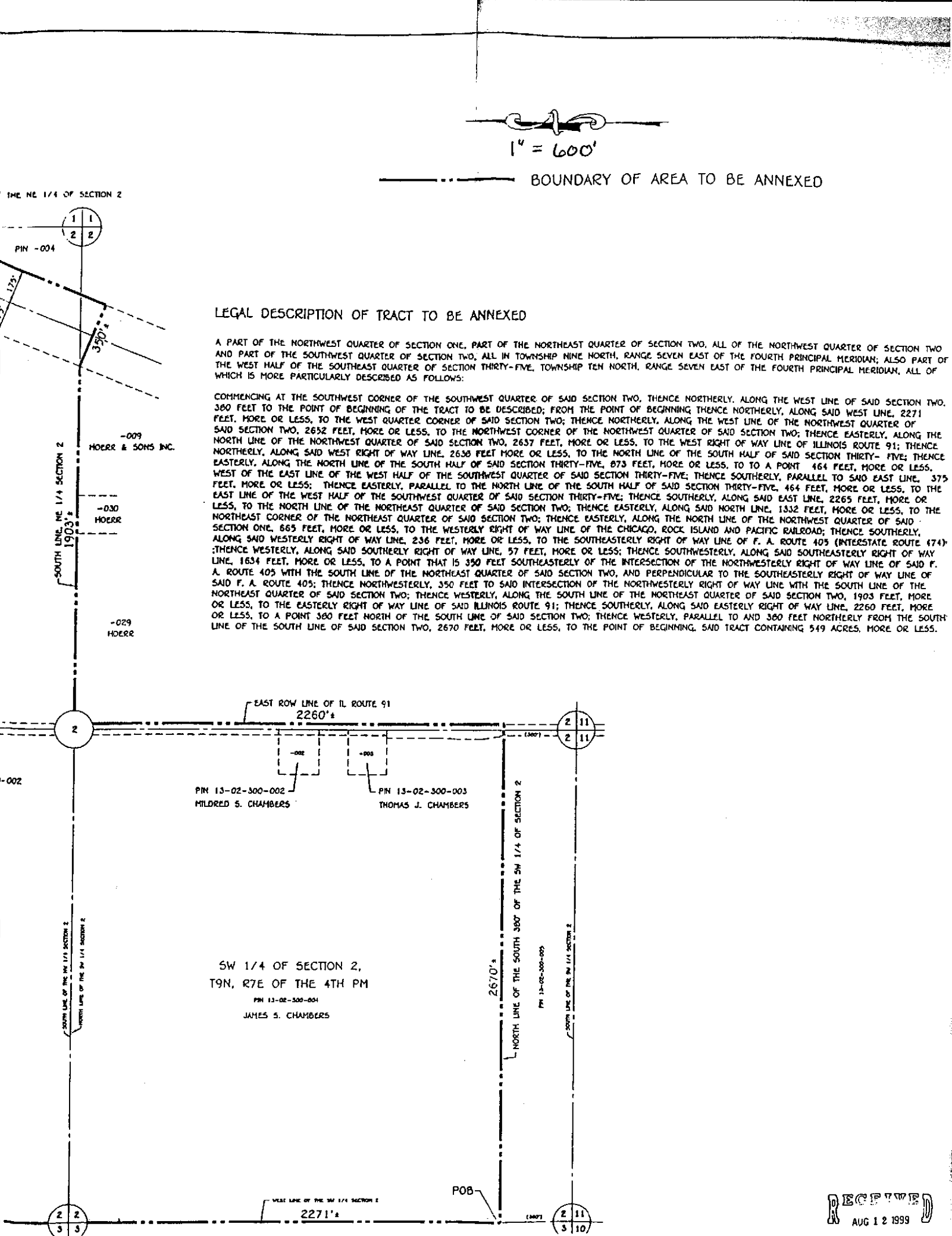
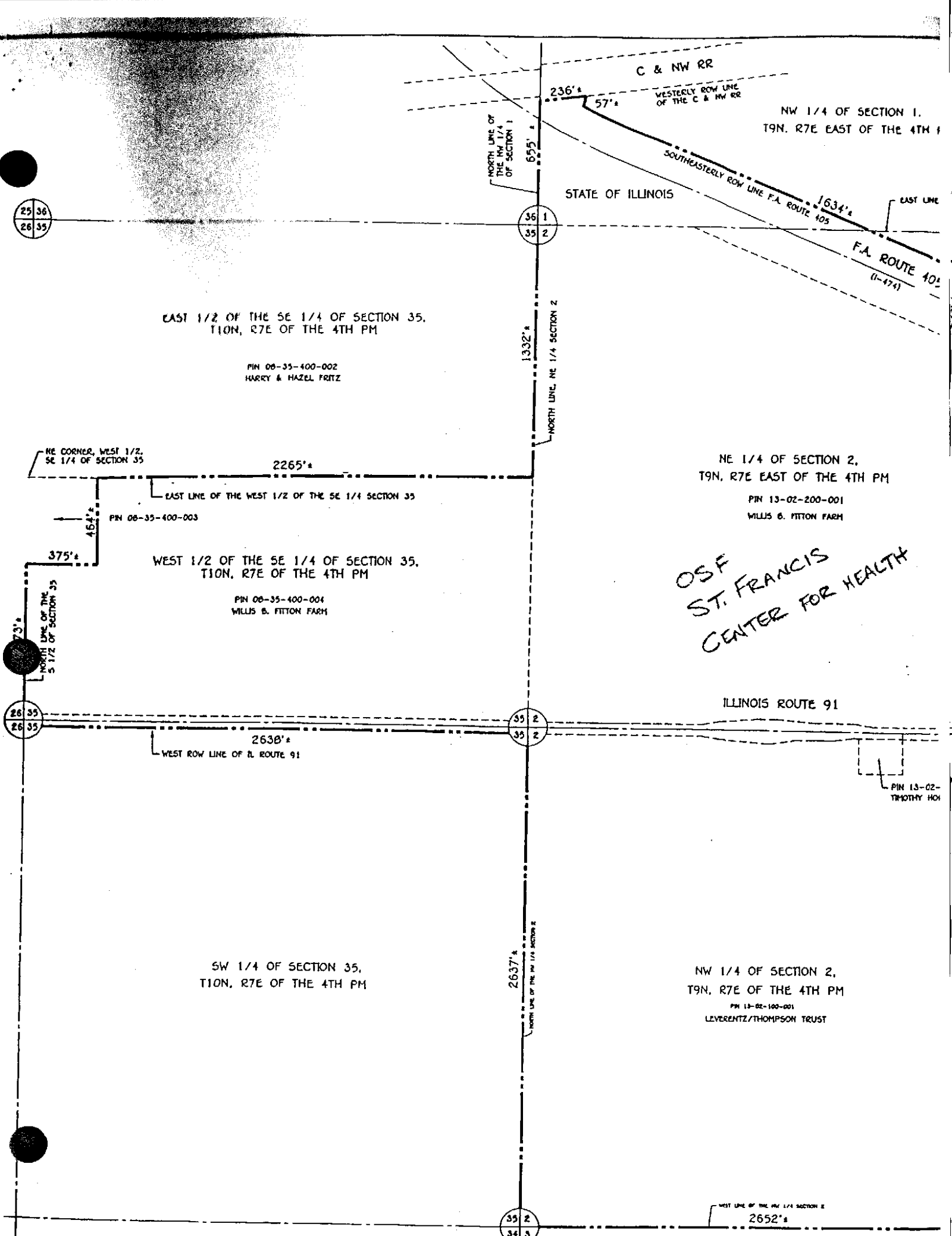
Doug Wiegand 05/18/99 by telephone said \$10-\$12/foot in easy going field, double that for work along highway because of productivity slowed by traffic -- restoration highway mix grass seed, add \$1/foot

Considerations: easement across Promanade Mall granted by Mall in return for main being brought to property by second party. Approximately 3,000' of main needed to get to point of service for Mall is reduced to 1,000'. Second feed now available to Mall.

INSTALL - (12) FIRE HYDRANT

QUANTITY	DESCRIPTION	LIST COST	TOTAL EST COST	TOTAL EST COST	
12	4-1/2" FIRE HYDRANT (3/WAY)	398.76	5,084	5,084	0
12	12"x 6" ANCHOR TEE	127.96	1,631	1,631	0
12	6" GATE VALVE	148.38	1,892	1,892	0
12	6" ANCHOR CPLG	85.00	1,084	1,084	0
60	6" DL PIPE - CLASS 350	5.36	342	342	0
12	VALVE BOX COMPLETE	53.66	644	644	0
	CONTRACT LABOR & EQUIPMENT	1,000.00	12,000	12,000	0
	SUB-TOTAL		22,677	22,677	0
	5% O & C		1,134	1,134	0
	SUB-TOTAL		23,811	23,811	0
	2% C O		476	476	0
	SUB-TOTAL		24,287	24,287	0
	13.09% ENGINEERING		3,179	3,179	0
	SUB-TOTAL		27,466	27,466	0
	A.F.U.D.C.		0	0	0
	TOTAL PART II		27,466	27,466	0
	TOTAL PART I		248,049	215,416	32,633
	TOTAL PART II		27,466	27,466	0
	TOTAL PROJECT		275,515	242,882	32,633
	COST PER FOOT:		44.44	39.17	
	SAY:		275,500	242,900	32,600





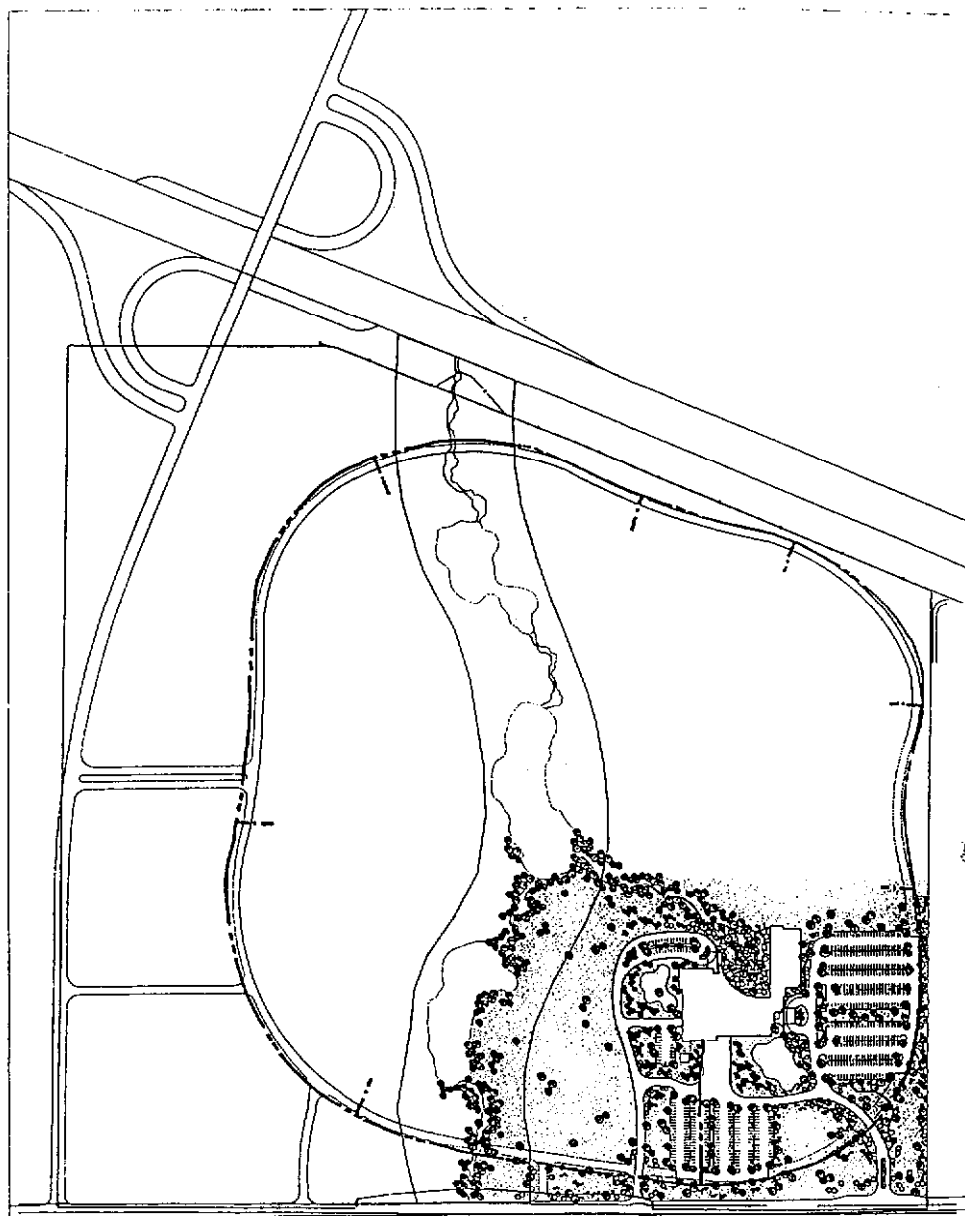
1" = 600'

BOUNDARY OF AREA TO BE ANNEXED

LEGAL DESCRIPTION OF TRACT TO BE ANNEXED

A PART OF THE NORTHWEST QUARTER OF SECTION ONE, PART OF THE NORTHEAST QUARTER OF SECTION TWO, ALL OF THE NORTHWEST QUARTER OF SECTION TWO AND PART OF THE SOUTHWEST QUARTER OF SECTION TWO, ALL IN TOWNSHIP NINE NORTH, RANGE SEVEN EAST OF THE FOURTH PRINCIPAL MERIDIAN; ALSO PART OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION THIRTY-FIVE, TOWNSHIP TEN NORTH, RANGE SEVEN EAST OF THE FOURTH PRINCIPAL MERIDIAN, ALL OF WHICH IS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE SOUTHWEST QUARTER OF SAID SECTION TWO, THENCE NORTHERLY, ALONG THE WEST LINE OF SAID SECTION TWO, 360 FEET TO THE POINT OF BEGINNING OF THE TRACT TO BE DESCRIBED; FROM THE POINT OF BEGINNING THENCE NORTHERLY, ALONG SAID WEST LINE, 2271 FEET, MORE OR LESS, TO THE WEST QUARTER CORNER OF SAID SECTION TWO; THENCE NORTHERLY, ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION TWO, 2632 FEET, MORE OR LESS, TO THE NORTHWEST CORNER OF THE NORTHWEST QUARTER OF SAID SECTION TWO; THENCE EASTERLY, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION TWO, 2637 FEET, MORE OR LESS, TO THE WEST RIGHT OF WAY LINE OF ILLINOIS ROUTE 91; THENCE NORTHERLY, ALONG SAID WEST RIGHT OF WAY LINE, 2636 FEET MORE OR LESS, TO THE NORTH LINE OF THE SOUTH HALF OF SAID SECTION THIRTY-FIVE; THENCE EASTERLY, ALONG THE NORTH LINE OF THE SOUTH HALF OF SAID SECTION THIRTY-FIVE, 873 FEET, MORE OR LESS, TO A POINT 464 FEET, MORE OR LESS, WEST OF THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION THIRTY-FIVE; THENCE SOUTHERLY, PARALLEL TO SAID EAST LINE, 375 FEET, MORE OR LESS; THENCE EASTERLY, PARALLEL TO THE NORTH LINE OF THE SOUTH HALF OF SAID SECTION THIRTY-FIVE, 464 FEET, MORE OR LESS, TO THE EAST LINE OF THE WEST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION THIRTY-FIVE; THENCE SOUTHERLY, ALONG SAID EAST LINE, 2265 FEET, MORE OR LESS, TO THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION TWO; THENCE EASTERLY, ALONG SAID NORTH LINE, 1332 FEET, MORE OR LESS, TO THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SAID SECTION TWO; THENCE EASTERLY, ALONG THE NORTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION ONE, 665 FEET, MORE OR LESS, TO THE WESTERLY RIGHT OF WAY LINE OF THE CHICAGO, ROCK ISLAND AND PACIFIC RAILROAD; THENCE SOUTHERLY, ALONG SAID WESTERLY RIGHT OF WAY LINE, 236 FEET, MORE OR LESS, TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF F. A. ROUTE 405 (INTERSTATE ROUTE 474); THENCE WESTERLY, ALONG SAID SOUTHERLY RIGHT OF WAY LINE, 57 FEET, MORE OR LESS; THENCE SOUTHWESTERLY, ALONG SAID SOUTHEASTERLY RIGHT OF WAY LINE OF SAID F. A. ROUTE 405 WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION TWO, AND PERPENDICULAR TO THE SOUTHEASTERLY RIGHT OF WAY LINE OF SAID F. A. ROUTE 405; THENCE NORTHWESTERLY, 350 FEET TO SAID INTERSECTION OF THE NORTHWESTERLY RIGHT OF WAY LINE WITH THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION TWO; THENCE WESTERLY, ALONG THE SOUTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION TWO, 1903 FEET, MORE OR LESS, TO THE EASTERLY RIGHT OF WAY LINE OF SAID ILLINOIS ROUTE 91; THENCE SOUTHERLY, ALONG SAID EASTERLY RIGHT OF WAY LINE, 2260 FEET, MORE OR LESS, TO A POINT 380 FEET NORTH OF THE SOUTH LINE OF SAID SECTION TWO; THENCE WESTERLY, PARALLEL TO AND 380 FEET NORTHERLY FROM THE SOUTH LINE OF THE SOUTH LINE OF SAID SECTION TWO, 2670 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, SAID TRACT CONTAINING 549 ACRES, MORE OR LESS.



OSF ST. FRANCIS CENTER FOR HEALTH

$\frac{1"}{600'}$ 2



Illinois-American Water Company

Northern Division • 123 S.W. Washington • Peoria, Illinois 61602
Phone: (309) 671-3701 • Fax: (309) 671-4841

Kevin F. Hillen
Manager

October 19, 1999

Mr. David J. Connolly
Hammes Company
18000 West Sarah Lane, Suite 250
Brookfield, Wisconsin 53045

Re: OSF St. Francis Center for Health

Dear Mr. Connolly;

Thank you for sending the annexation plat. Confirming our discussions of October 15th regarding the OSF Center, here is a summary of the cost estimates we discussed.

Estimated Cost of 6200' of 12" Main	\$272,100
Difference Between 12" and 8" main (IAWC contribution)	<u>36,900</u>
Estimated Net Cost to Developer	\$235,200

The pipeline route (see enclosed map) extends from the south side of Route 150 along the west side of Route 91, ending at the south property line of the OSF site. The total estimated cost is **exclusive** of the cost of any on site piping. Alternatively, IAWC evaluated the cost to install a main through the Promenade site from a 12" main at the north side of Orange Prairie Road/Route 150, ending again on Route 91 as described above. Although this route was 820' longer, the elimination of a boring across Route 150 yielded an almost identical cost summary. IAWC is also conducting a more extensive hydraulic analysis of the long-term needs of this area, and may decide to install a transmission line larger than 12" in diameter. For whatever option we elect, the Company will pay all upgrade costs beyond an 8" main extension.

IAWC has also agreed to do the following:

1. Evaluate alternative cost sharing mechanisms (e.g.- assessments) to more fairly allocate the cost of this transmission main across all the customers benefiting from the installation. Any such proposal would have to be shown as equitable (no customer cross-subsidization) and would require approval of the Illinois Commerce Commission.

2. Continue discussions with the Promenade developer in an attempt to coordinate construction and share in the installation costs. Although we have identified two possible routes for the transmission main installation, the routing through the Promenade site should provide that developer with a greater benefit than the Route 91 option.
3. Investigate alternative funding sources for the developer's portion of the water main cost. To that end, we have had some initial contact with 93rd District State Representative David Leitch about the availability of Illinois First money. We are focusing our requests on the use of any available grants/low interest loans to enhance the overall development of the water system in Peoria's Growth Cell 3, without further focusing on any particular business/development within the growth cell area.

It is our understanding that the OSF center will open in October 2000, but water for fire protection is needed by June. There are several issues that could potentially impact the time line of a project of this nature, including easement acquisition, Illinois Commerce Commission (ICC) approval (of both the funding mechanisms issue and approval to serve the area), engineering design, and construction.

The information you provided accompanying that annexation plat indicates that easements should not be a problem. We will have a more detailed design and construction schedule outlined by mid-November, which will be predicated on the remaining issues-those of alternative funding sources and ICC approval. As I stated, we are beginning work in these areas, and I should have a better handle on the available options within that same time frame.

We look forward to working with you on this project. If you have any questions or need further clarification on any issue, don't hesitate to call me.

Sincerely,



Kevin Hillen
Manager- Northern Division
Illinois American Water Company

Cc: Doug Mitchem
Dick Schwarz

Hammes Company

18000 W. Sarah Lane, Suite 250
Brookfield, Wisconsin 53045
Tel 414 792 5900 Fax 414 792 3620

June 29, 2000

Mr. Kevin Hillen
Illinois-American Water Company
Northern Division
123 SW Washington Street
Peoria, Illinois 61602

RE: *OSF Saint Francis Center for Health
Water Main Extension*

Dear Kevin:

I have reviewed your correspondence dated June 21, 2000 detailing the serviceable front footage fees along the proposed OSF transmission main.

The cost allocation for serviceable front footage fees does not include an allocation for the OSF property; should that be included?

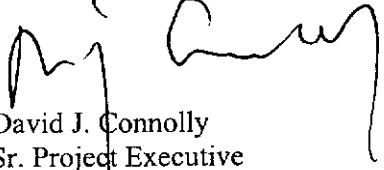
The following "estimated" expenses should be included in your project costs analysis:

Engineering:	\$25,000
Development Fees:	\$15,000
Legal Fees:	\$10,000
Contingency:	<u>\$15,000</u>
	\$65,000

Please call me with any questions at (262) 792-5900.

Sincerely,

HAMMES COMPANY


David J. Connolly
Sr. Project Executive

DJC/pjb

cc: Carter Barnes, OSF Healthcare System
Robert Droese, Hammes Company
File

BID

PROJECT IDENTIFICATION:

Water Main Extension - OSF Saint Francis Center for Health, Project No. 98-6-891

CONTRACT IDENTIFICATION AND NUMBER: RAI # C.960.001

THIS BID IS SUBMITTED TO:

OSF Healthcare System
800 NE Glen Oak Avenue
Peoria, IL 61603-3200

1. The undersigned BIDDER proposes and agrees, if this Bid is accepted, to enter into an agreement with OWNER in the form included in the Contract Documents to perform and furnish all Work as specified or indicated in the Contractor Documents for the Bid Price and within the Bid Times indicated in this Bid and in accordance with the other terms and conditions of the Contract Documents.
2. BIDDER accepts all of the terms and conditions of the Advertisement or Invitation to Bid and Instructions to Bidders, including without limitation those dealing with the disposition of Bid security. This Bid will remain subject to acceptance for thirty-five days after the day of Bid opening. BIDDER will sign and deliver the required number of counterparts of the Agreement with the Bonds and other documents required by the Bidding Requirements within ten days after the date of OWNER's Notice of Award.
3. In submitting this Bid, BIDDER represents, as more fully set forth in the Agreement, that:
 - (a) BIDDER has examined and carefully studied the Bidding Documents and the following Addenda receipt of all which is hereby acknowledged: (List Addenda by Addendum Number and Date)

ADDENDUM A - MARCH 16, 2000

- (b) BIDDER has visited the site and become familiar with and is satisfied as to the general, local and site conditions that may affect cost, progress, performance, and furnishing of the Work;
- (c) BIDDER is familiar with and is satisfied as to all federal, state and local Laws and Regulations that may affect cost, progress, performance, and furnishing of the Work.
- (d) BIDDER has carefully studied all reports of explorations and tests of subsurface conditions at or contiguous to the site and all drawings of physical conditions in or relating to existing surface or subsurface structures at or contiguous to the site (except Underground Facilities) which have been identified in the Supplementary Conditions as provided in paragraph 4.2.1 of the General Conditions. BIDDER accepts the determination set forth in paragraph SC-4.2 of the Supplementary Conditions of the extent of the "technical data" contained in such reports and drawings upon which BIDDER is entitled to rely as provided in paragraph 4.2 of the General Conditions. BIDDER acknowledges that such reports and drawings are not Contract Documents and may not be complete for BIDDER'S purposes. BIDDER acknowledges that OWNER and ENGINEER do not

Bidder shall provide two bids as follows: a base bid assuming that all of the water main extension is 8", and an alternate bid assuming a 12" main extension with an 8" highway crossing at the OSF site. The alternate bid is the configuration shown on the Drawings.

UNIT PRICE BID - BASE BID

No.	Item	Quantity	Unit	Unit Price	Total Price
1	8" D.I. Water Main, incl. Fittings	7343	L.F.	14.00	102,802.00
2	Connection to Existing 12" Water Main	1	EA.	400.00	400.00
3	8" Gate Valves	5	EA.	600.00	3,000.00
4	8" Gate Valve with Cap	4	EA.	700.00	2,800.00
5	Bore & Jack 8" M.J. D.I. Water Main in 18" Steel Casing	54	L.F.	140.00	7,560.00
6	12" Gate Valve	1	EA.	1100.00	1,100.00
7	8" Gate Valve in Manhole	1	EA.	2000.00	2,000.00
8	Fire Hydrant w/ Auxiliary 6" Gate Valve	3	EA.	1600.00	4,800.00
9	Water Main Pressure Testing	7397	L.F.	.05	369.85
10	Water Main Disinfection	7397	L.F.	.05	369.85
11	Seeding & Topsoil Replacement	1	L.S.	3000.00	3,000.00

TOTAL BID FOR ALL UNIT PRICES \$ 128,201.70

(figures)

ONE HUNDRED TWENTY EIGHT THOUSAND TWO HUNDRED ONE AND

(words)

.70 DOLLARS*****

(words)

UNIT PRICE BID - ALTERNATE BID

No.	Item	Quantity	Unit	Unit Price	Total Price
1	8" D.I. Water Main, incl. Fittings	21	L.F.	14.00	294.00
2	12" D.I. Water Main, incl. Fittings	7322	L.F.	18.00	131,796.00
3	Connection to Existing 12" Water Main	1	EA.	400.00	400.00
4	8" Gate Valve with Cap	1	EA.	700.00	700.00
5	12" Gate Valves	6	EA.	1100.00	6,600.00
6	12" Gate Valve with Cap	3	EA.	1225.00	3,675.00
7	12" Gate Valve in Manhole	1	EA.	2500.00	2,500.00
8	Bore & Jack 8" M.J. D.I. Water Main in 18" Steel Casing	54	L.F.	140.00	7,560.00
9	Fire Hydrant w/ Auxiliary 6" Gate Valve	3	EA.	1600.00	4,800.00
10	Water Main Pressure Testing	7397	L.F.	.05	369.85
11	Water Main Disinfection	7397	L.F.	.05	369.85
12	Seeding & Topsoil Replacement	1	L.S.	3000.00	3,000.00

TOTAL BID FOR ALL UNIT PRICES \$ 162,064.70

(figures)

ONE HUNDRED SIXTY TWO THOUSAND SIXTY FOUR AND .70 DOLLARS

(words)

(words)

00300-4

ILLINOIS-AMERICAN WATER COMPANY
RESPONSE TO ILLINOIS COMMERCE COMMISSION
DATA REQUEST NUMBER RAK-1.16

Person Responsible:	Kevin Hillen
Title:	Manager, Northern Div.
Phone No.:	309-671-3720
Date Received:	August 31, 2000
Docket No.:	00-0495

RAK 1.16 Please provide, for the record, a copy of the Agriculture Impact Mitigation Agreement as set forth in Mr. Hillen's direct testimony on page 5, lines 21 & 22.

RESPONSE A copy of the Agricultural Impact Mitigation Agreement is attached for record.

**AGRICULTURAL IMPACT MITIGATION AGREEMENT
BETWEEN THE
ILLINOIS DEPARTMENT OF AGRICULTURE AND ILLINOIS-AMERICAN WATER COMPANY**

The Illinois Department of Agriculture and the Illinois-American Water Company agree to the following measures which the Illinois-American Water Company will implement as it constructs water transmission and distribution lines under cropland within all service areas. These measures will serve to minimize the negative agricultural impacts which may result due to water transmission and distribution line construction.

Landowners are granted the ability to change any construction standard or policy described in this agreement should they deem any standard or policy to be unacceptable, provided, however, that any such changes are mutually acceptable to the Illinois-American Water Company.

The below prescribed construction standards and policies only apply to construction activities occurring partially or wholly on privately owned land and not to construction activities occurring entirely on public right-of-way, railroad right-of-way, and publicly owned land. The Illinois-American Water Company will, however, adhere to the construction standards relating to the repair of drainage tile (item No. 5 in the Agreement) when drainage tiles are encountered on public highway right-of-way, railroad right-of-way, publicly or privately owned land.

Company	=	Illinois-American Water Company
Cropland	=	Land used for growing row crops or small grains; includes land which was formerly used as cropland, but is currently in a government set-aside program.
Landowner	=	Person(s) responsible for making decisions regarding the restoration of the land adversely impacted by a water line.
Water Line	=	Rural water transmission or distribution line. Does not include distribution systems from a public highway to a residence, barn, etc.

1. Location of Water Lines

All water lines which must be located on private property will be buried parallel and adjacent to public highways, private roads, and/or railroad right-of-way and will be placed a maximum of 10 feet onto the private property from the edge of the highway and/or railroad right-of-way unless a different dimension is negotiated with the landowner. Where obstructions such as buildings, trees, utility poles, underground utility lines, ditches, creeks, road jogs, and other obstructions prevent such placement of water lines, they may be placed further onto private property to negotiate the obstructions.

2. Location Of Above-Ground Appurtenances, Wells, Tanks, Etc.

First priority will be given to locating above-ground appurtenances, wells, tanks, etc. to land which is not used as cropland. If it is technically or financially not feasible to select such sites, they may be located on cropland at locations where the facilities will provide the least encumbrance to the farming operation, such as in field corners.

3. Depth

The water lines will be buried with a minimum of 42" of cover above the top of the pipe, unless the elevation is adjusted down to clear an obstruction.

4. Separation Of Topsoil

- A. The topsoil from the water line trench need not be separated from the subsoil as long as the trench does not exceed 18 inches in width at the surface. At stream, road, and other underground utility line crossings, the trench may need to be widened. At such locations, the topsoil need not be separated.
- B. Anywhere the water line trench exceeds 18 inches in width at the surface, with the exceptions noted above, the topsoil will be separated from the subsoil and placed back as the surface layer of soil as the trench is backfilled.

5. Drainage Tile

- A. If underground drainage tile is encountered as the trench is excavated, the water line will be buried deep enough to pass under the tile line with one foot of soil between the top of the water line and the bottom of the tile line. The water line may be placed above the tile line in a similar manner as long as the 42 inch depth of top cover is not compromised.
- B. All damaged drainage tile will be repaired in a manner that is acceptable to the landowner. Repair specifications will be presented to the landowner for his/her approval prior to construction of the water line. If a compromise cannot be obtained on the proper repair of damaged tile lines, the repair specifications of the county Soil and Water Conservation District will be followed.
- C. Repairs made to damaged tile lines must enable the tile lines to operate as well after the repairs are completed as before they were damaged. The Company will remain liable for a period of 2 years following the completion of the water line system to ensure that all tile line repairs do not fail.
- D. Tile line repairs will be made the same day the damage occurs. If payments are to be made to the landowner to make his/her own tile repairs, such damage payments must be made within 14 days of the date of the damage.

6. **Damages To Private Property**

- A. The Company will repair or replace damaged private property within 45 days, weather and landowner permitting, after the water line has been constructed across any affected property.
- B. The Company will remain liable to correct damages to private property beyond the initial construction of the water system, to those damages incurred by future construction, maintenance, and repairs.

7. **Restoration Of Soil For Compaction And Rutting**

- A. The Company will chisel to a depth of 8 inches all cropland, pasture land, and hayland that has been traversed by construction equipment to alleviate compaction impacts, unless the landowner specifies other arrangements which are acceptable to the Company.
- B. The Company will chisel or pay to have chiseled all compacted and rutted soil within 45 days, weather and landowner permitting, after the water line has been constructed across any affected property.
- C. The Company shall restore the pasture to its original condition.

8. **Fertilization Of Disturbed Soils**

- A. If desired by the landowner, the Company will agree to apply fertilizer and lime to land disturbed by construction at a rate specified by the county Cooperative Extension Service to help restore the fertility of disturbed soils and enhance the establishment of a vegetative cover to control soil erosion.
- B. Unless other arrangements are made with the landowner, the Company will apply fertilizer and lime to the disturbed right-of-way within 45 days, weather and landowner permitting, after the water line has been constructed across any affected property.

9. **Repair Of Damaged Soil Conservation Practices**

- A. The Company will repair any soil conservation practices (such as terraces, grassed waterways, etc.) which are damaged by a water line's construction. All soil conservation practices shall be restored to their original condition and elevation.
- B. The Company will repair or pay to have repaired damaged soil conservation practices within 45 days, weather and landowner permitting, of the water line's construction across any affected property. All required grasses will be planted as soon as the seed will germinate.

10. **Removal Of Construction Debris**

- A. The Company will remove from the landowner's property all material which was not there before construction commenced and which is not an integral part of the water system. (Note: Such material to be removed would also include litter generated by the construction crews.)
- B. The Company will remove all construction debris within 45 days, weather and landowner permitting, after the water line has been constructed across any affected property.

11. **Rocks**

- A. If rocks are excavated from the water line trench, the Company will remove all rocks which are greater than 3 inches in diameter from the soil to be backfilled in the top 42 inches of the trench.
- B. All removed rock shall be disposed of by the Company at a site other than the landowner's property.

12. **Preventing Erosion**

- A. The Company will work with landowners to prevent excessive erosion on lands disturbed by construction. The Company will implement reasonable methods to control erosion as suggested by the landowner. This is not a requirement, however, if the land across which a water line is constructed is bare cropland which the landowner intends to leave bare until the next crop is planted.
- B. If the landowner A) does not suggest a reasonable erosion control method, or B) does not suggest any method of erosion control, the Company will follow the recommendations of the county Soil and Water Conservation District.
- C. The Company will ensure that erosion control measures are implemented, or pay the landowner to do so, within 45 days, weather and landowner permitting, following the construction of the water line across any affected property that is subject to erosion.

13. **Clearing Of Trees And Brush From The Easement**

- A. If trees are to be removed from privately owned land, the Company will consult with the landowner to see if there are trees of commercial or other value to the landowner.
- B. If there are trees of commercial or other value to the landowner, the Company will allow the landowner the right to retain ownership of the trees with the disposition of the trees to be negotiated prior to the commencement of land clearing.
- C. The Company will follow the landowner's desires, regarding the disposition of trees and brush of no value to the landowner and disposal shall comply with local or state regulations.

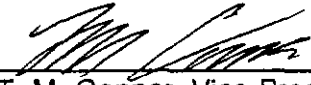
14. Advance Notice Of Access To Private Property

- A. The Company will provide the landowner with a minimum of 24 hours prior notice before accessing his/her property for the purpose of constructing a water line.
- B. Prior notice shall first consist of a personal contact or a telephone contact, whereby the landowner is actually informed of the Company's intent to access the landowner's land. If the landowner cannot be reached in person or by telephone, the Company will mail or hand deliver to the landowner's home a dated, written notice of the Company's intent. The landowner need not acknowledge receipt of the second written notice before the Company enters the landowner's property.

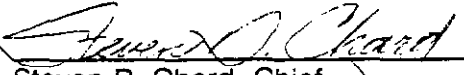
15. Reporting Of Inferior Agricultural Impact Mitigation Work

Prior to the construction of the water system, the Company will provide the landowners with a number they can call to alert the Company should any landowners observe inferior work relating to the agricultural impact mitigation work which is performed on their property.

The Illinois Department of Agriculture and the Illinois-American Water Company concur that reference to the Company's adherence to this agreement is the complete agreement governing performance of water line installation on cropland in the state of Illinois. Both parties agree that in the event the Illinois Commerce Commission (ICC) issues a Certificate of Public Convenience and Necessity ordering the construction of an IAWC water line project and/or service area expansion, the ICC should reference this IAWC-IDOA Agreement in the Opinion Findings of its Order.



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Illinois-American Water Company
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P.O. Box 1761
Belleville, Illinois 62223



Steven D. Chard, Chief
Illinois Department of Agriculture
Division of Natural Resources
Illinois State Fairgrounds, P.O. Box 19281
Springfield, Illinois 62794-9281

Date: 11/20/92, 1992 Date: November 23, 1992

ILLINOIS-AMERICAN WATER COMPANY
RESPONSE TO ILLINOIS COMMERCE COMMISSION
DATA REQUEST NUMBER RAK-1.20

Person Responsible:	Ronald D. Stafford
Title:	Director-Rates & Revenue
Phone No.:	618-239-2239
Date Received:	August 31, 2000
Docket No.:	00-0495

RAK 1.20 Please provide the amount of revenues (by class)
IAWC expects to receive from the main extension for
2001, 2002 and 2006. Provide all workpapers.

RESPONSE See attached.

Docket No. 00-0495

	<u>2001</u>	<u>2002</u>	<u>2006</u>
Customers (Residential)	0	25	100
Revenues:			
5/8" Meter	\$0	\$3,150	\$12,600
Usage at 6 ccf/mth	0	3,577	14,306
Fire Protection	0	267	1,068
	<hr/>		
Total	\$0	\$6,994	\$27,974
Customers (Commercial)	1	2	2
Revenues:			
2" Meters	\$423	\$1,692	\$1,692
OSF Usage at 7,000 ccf/yr	5,169	20,675	10,338
Meijer Usage at 8,500 ccf/yr	0	23,942	23,942
Fire Protection	91	362	362
	<hr/>		
Total	\$5,683	\$46,671	\$36,334
Total Revenues	\$5,683	\$53,665	\$64,308
Expenses:			
F/P& Chemicals	525	2,595	3,405
Customer Accounting	28	758	2,864
Taxes	1,949	19,119	22,055
	<hr/>		
Total	\$2,502	\$22,472	\$28,324
Net Income	\$3,181	\$31,193	\$35,984

Note: Above numbers at Company's present rates. In Docket No. 00-0340, a proposed increase in rates is currently pending before the Illinois Commerce Commission.

ILLINOIS-AMERICAN WATER COMPANY
RESPONSE TO ILLINOIS COMMERCE COMMISSION
DATA REQUEST NUMBER RAK-1.23

Person Responsible:	Ronald D. Stafford
Title:	Director-Rates & Revenue
Phone No.:	618-239-2239
Date Received:	August 31, 2000
Docket No.:	00-0495

RAK 1.23 If the prospective customers are advancing funds to construct the proposed main extension, provide all documents and workpapers reflecting the development of the needed revenues that support the contribution by the prospective customers.

RESPONSE As no customers are expected to immediately connect, the developer, pursuant to Part 600.370, will contribute the entire cost of an 8" main.

ILLINOIS-AMERICAN WATER COMPANY
RESPONSE TO ILLINOIS COMMERCE COMMISSION
DATA REQUEST NUMBER RAK-1.27

Person Responsible:	Ronald D. Stafford
Title:	Director-Rates & Revenue
Phone No.:	618-239-2239
Date Received:	August 31, 2000
Docket No.:	00-0495

RAK 1.27 Please explain how the accounting treatment would be handled for the proposed main extension.

RESPONSE The accounting treatment would be in accordance with the Uniform System of Accounts, as approved by the Illinois Commerce Commission pursuant to 83 Ill. Admin. Code 605 through a debit to utility plant in service and a credit to customer advances.